

# Q st. Commons

6779 Q Street  
Sacramento CA

## DEVELOPER

Sacramento Q Street, LLC  
12424 Wilshire Boulevard #650  
Los Angeles, CA 90025  
310.504.2902

Contact:  
Dan Weinstein

## DESIGN ARCHITECT

MEEKS ■ PARTNERS

Meeks + Partners  
16000 Memorial Dr #100  
Houston, TX 77079  
281.558.8787

Contact:  
Ryan Meeks

## ARCHITECT OF RECORD

ELLIS ARCHITECTS

Ellis Architects  
4132 C Street  
Sacramento, CA 95819  
916.440.6765

Contact:  
Vince Maloney

## CIVIL/LANDSCAPE



Cunningham Engineering Corp  
2120 20th Street  
Sacramento, CA 95818  
916.455.2026

Contact:  
Katie Hanten(Civil)

Berekley Keller(Landscape)



Q ST. COMMONS														2018 04 20	
UNITS						LEVELS									
NAME	BEDS	BEDROOMS	BATHROOMS	NET SF		LVL 01	LVL 02	LVL 03	LVL 04	LVL 05	LVL 06	TOTAL UNITS	% UNITS	TOTAL BEDS	TOTAL NSF
ST1	1	0	1	452		0	1	1	1	1	1	5	20	5	2260
ST1B	1	0	1	452		0	1	1	1	1	1	5		5	2260
ST2	1	0	1	345		0	2	2	2	2	2	10	16.00%	10	3450
B1	2	2	2	869		0	1	1	1	1	1	5	15	10	4345
B2	2	2	2	985		0	1	1	1	1	1	5	12.00%	10	4925
B3	2	2	2	885		0	1	1	1	1	1	5		10	4425
D1	4	4	4	1223		0	8	10	10	10	10	48	76	192	58704
D1B	4	4	4	1254		0	2	3	3	3	3	14	60.80%	56	17556
D2	4	4	4	1480		0	1	1	1	1	1	5		20	7400
D3	4	4	4	1582		0	1	1	1	1	1	5		20	7910
D4	4	4	4	1519		0	0	1	1	1	1	4		16	6076
E1	5	4	4	1519		0	1	1	1	1	1	5	14	25	7595
E3	5	4	4	1650		0	0	1	1	1	1	4	11.20%	20	6600
E4	5	4	4	1498		0	1	1	1	1	1	5		25	7490
						0	14	19	19	19	19	125	100.00%	424	140996

PARKING REQUIREMENTS

CITY OF SACRAMENTO PARKING REQUIREMENTS (.5 SPOTS/UNIT)

125 UNITS\*.5 = 63 SPACES REQUIRED

103 SPACES PROVIDED

PARKING			
TYPE	COUNT	SF/SPOT	TOTAL SF
REGULAR	47	153	7191
COMPACT(8.5'X15')	11	120	1320
COMPACT(8'X15')	28	127	3556
TANDEM	12	306	3672
ACCESSIBLE VAN	1	198	198
ACCESSIBLE	4	144	576
TOTAL	103		16513

TOTAL SF OF PARKING STALLS AND DRIVE	28,032 SF
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BIKE PARKING REQUIREMENTS

CITY OF SACRAMENTO BIKE PARKING REQUIREMENTS

SHORT TERM PARKING (1 SPACE/ 10 UNITS)

SHORT TERM BIKE PARKING REQUIRED - 13 SPACES (125 UNITS \* .1 SPACE/UNIT)

14 SPACES PROVIDED

LONG TERM BIKE PARKING REQUIRED - 63 SPACES (125 UNITS\*.5 SPACE/UNIT)

80 SPACES PROVIDED

COMMON AMENITY SPACES

RETAIL
1636

AMENITY SPACE	
LVL 01 - LEASING	1531
LVL 01 - STUDY LNG	1290
LVL 01 - LOBBY.MAIL	1245
LVL 01 - BIKE STORAGE	956
LVL 02 - CLUB	2012
LVL 02 - EXERCISE	1700
TOTAL	8734

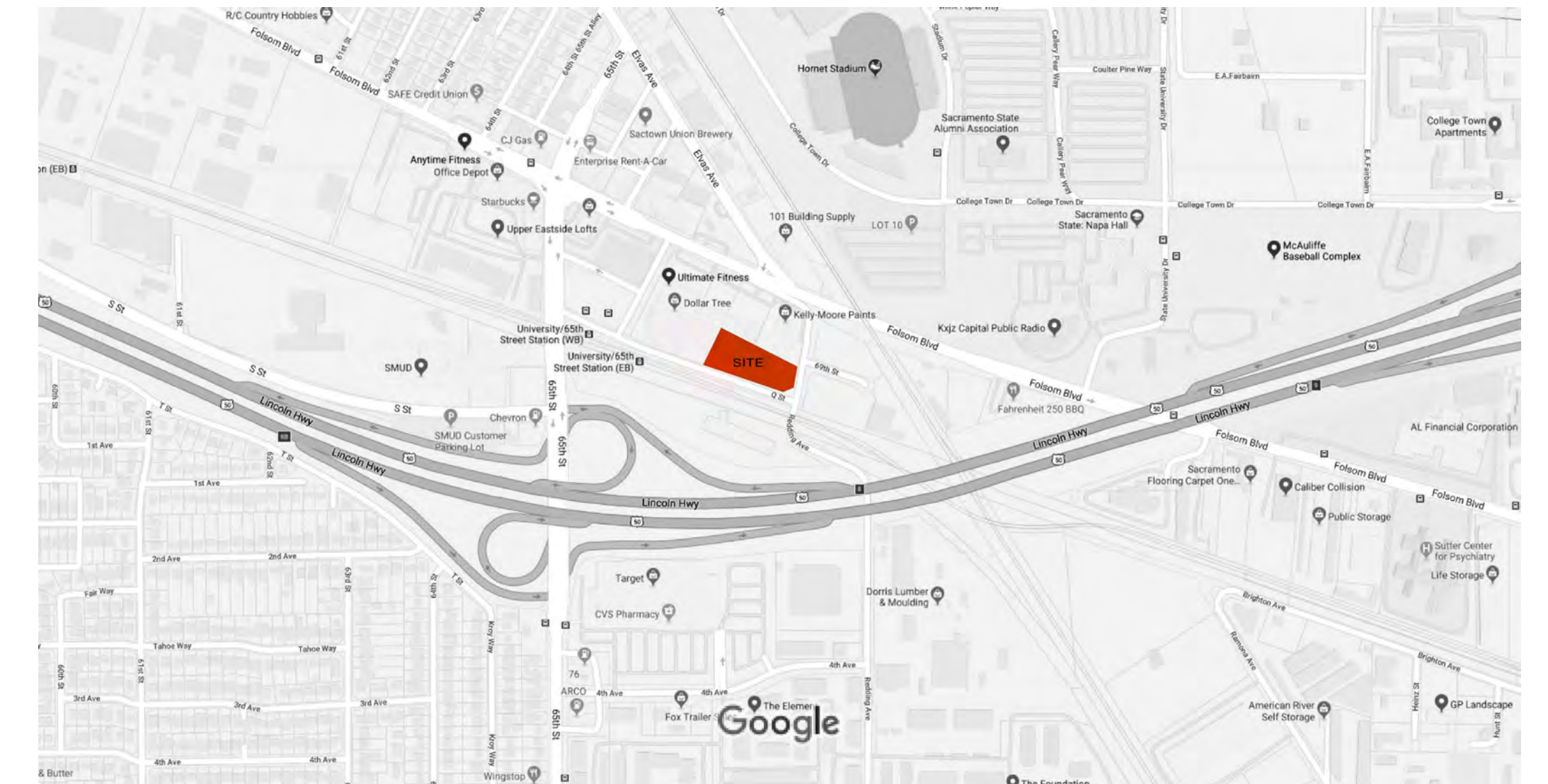
UTILITY FUNCTION SF	
LVL 01 - METER RM	456
LVL 01 - TRNSFR APT	1015
LVL 01 - PUMP RM	187
LVL 01 - RES TRASH	422
LVL 01 - TRNSFR RET	520
TOTAL	2600

PROJECT SUMMARY

Description:	125 apartment units in 5 stories over 1 level of parking separated by podium
Address:	6779 Q. Street Sacramento, CA 95819
Community:	City of Sacramento
County:	Sacramento
Jurisdiction:	City of Sacramento
Assessors Parcel Number:	#015-0010-043-0000
Sprinkler:	NFPA 13
Construction Type:	Level 1: Type 1A Level 2-6: Type 3A
Occupancy Group:	Level 1: S-2(Parking), B (Leasing Center), A-3 (Amenity), A-2/B/M (Retail) Level 2-6: R-2 (Residential Apartment Units)

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VICINITY MAP



## AERIAL SITE MAP

## Project Location - Q St. Commons

Sacramento Q Street, LLC

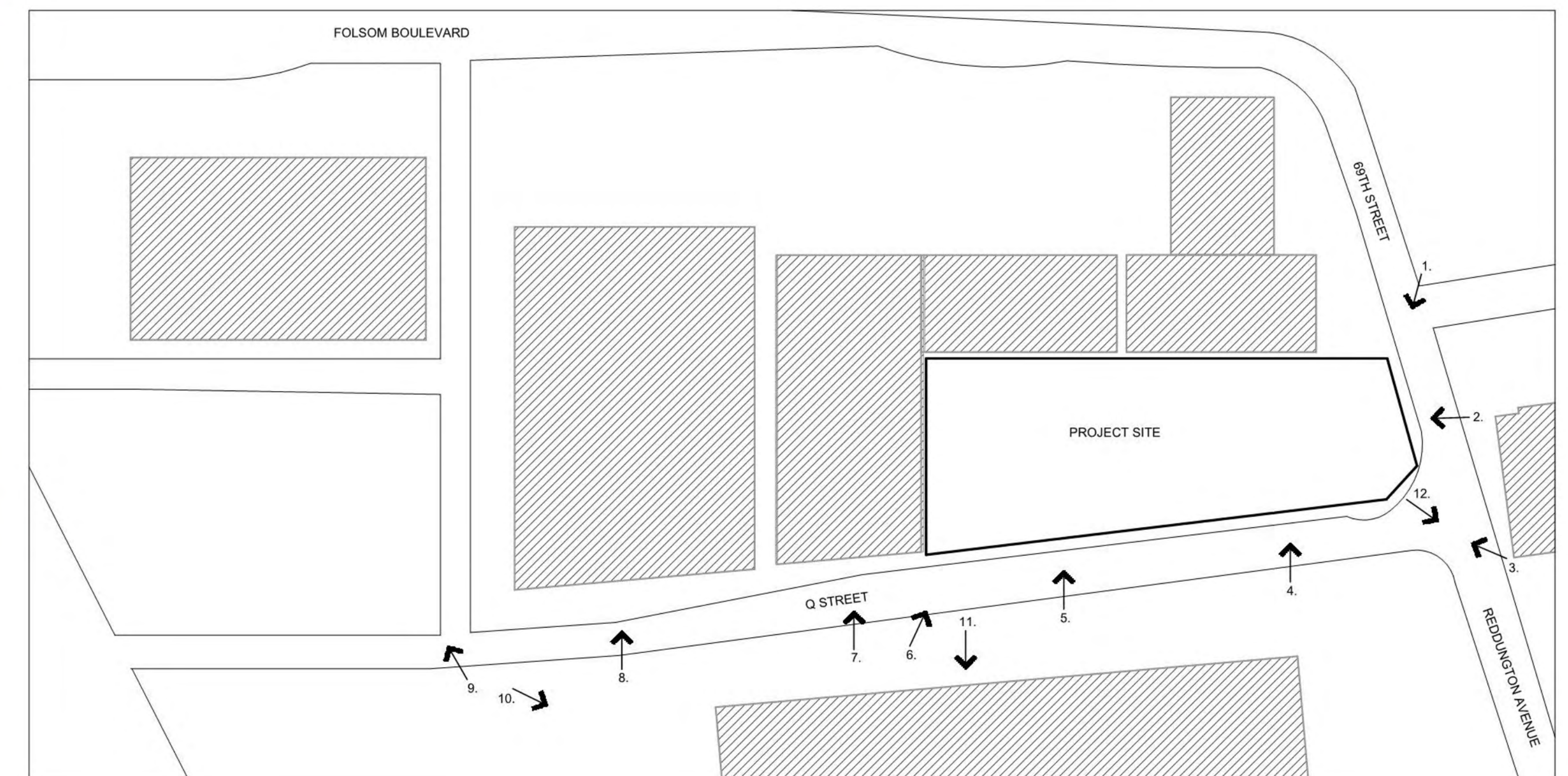
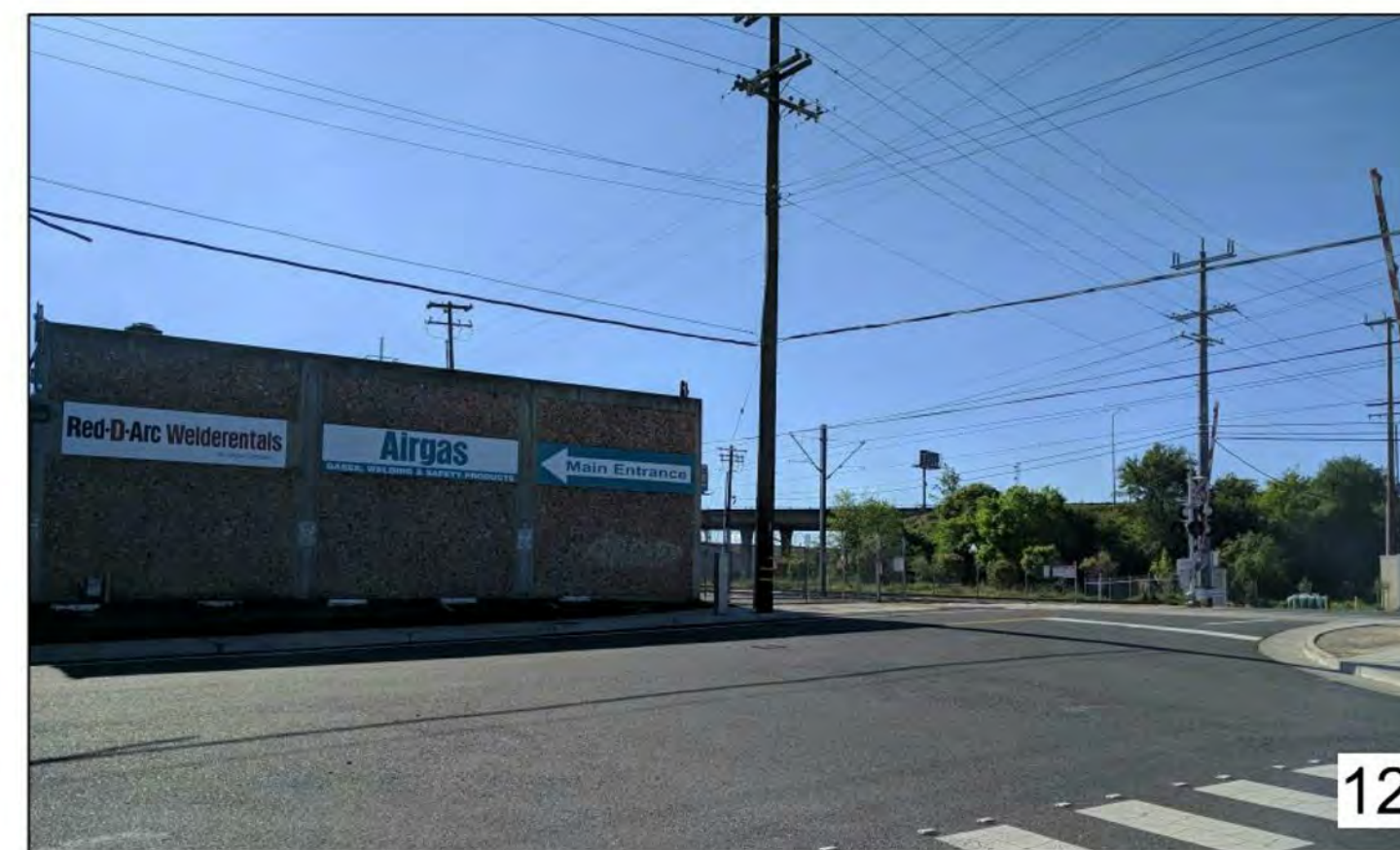
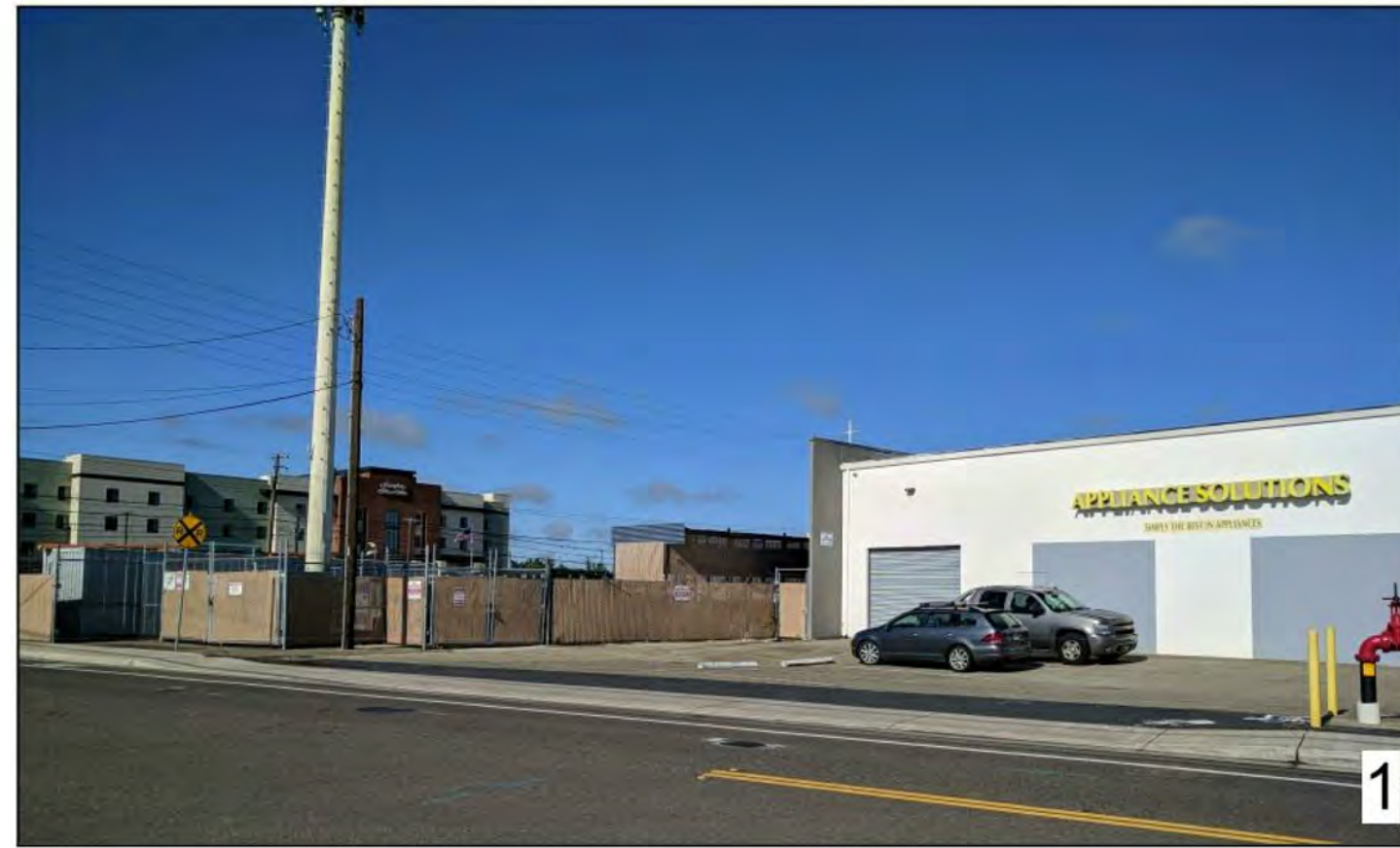
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## Project Site Photographs - Q St. Commons

Sacramento Q Street, LLC

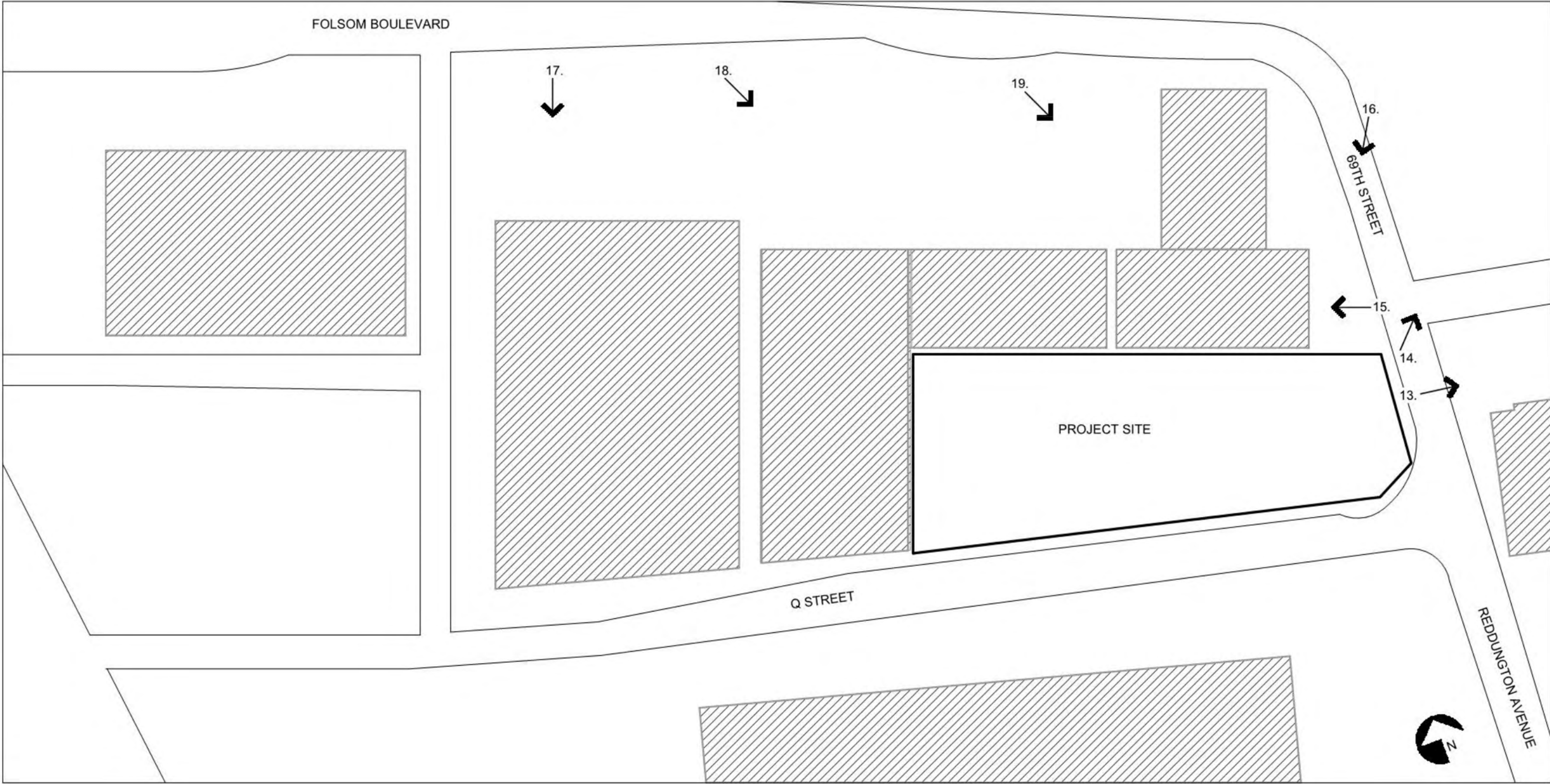
**MEEKS ■ PARTNERS**  
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4/20/18

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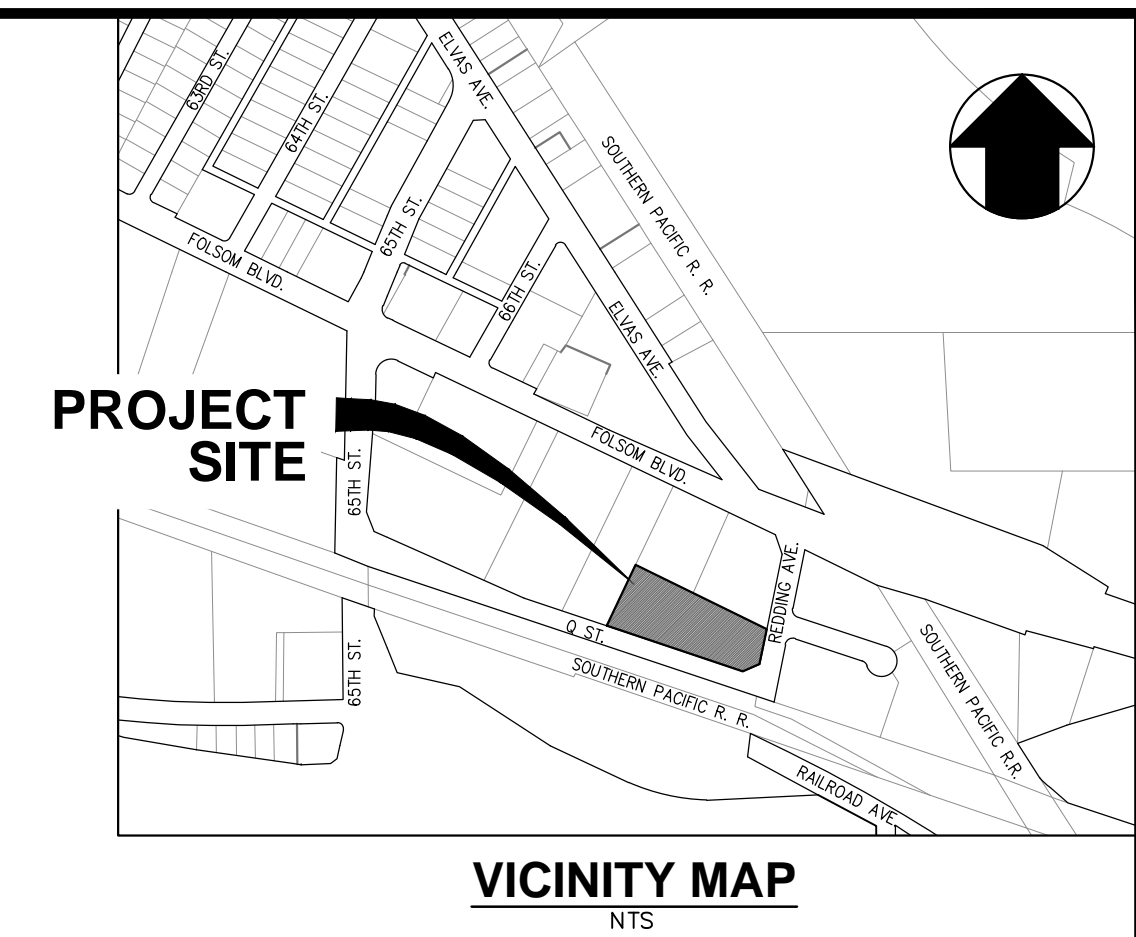
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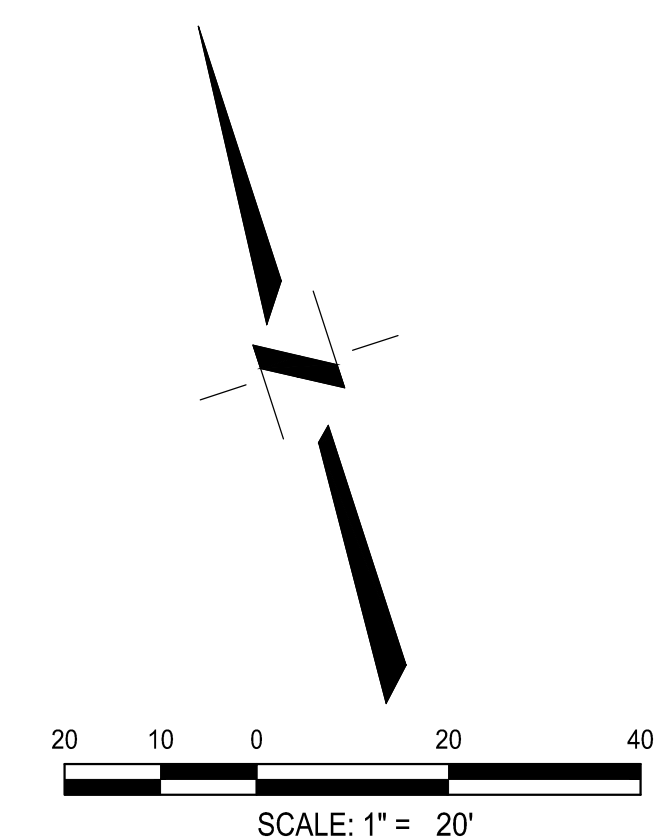
# Project Site Photographs - Q St. Commons Sacramento Q Street, LLC



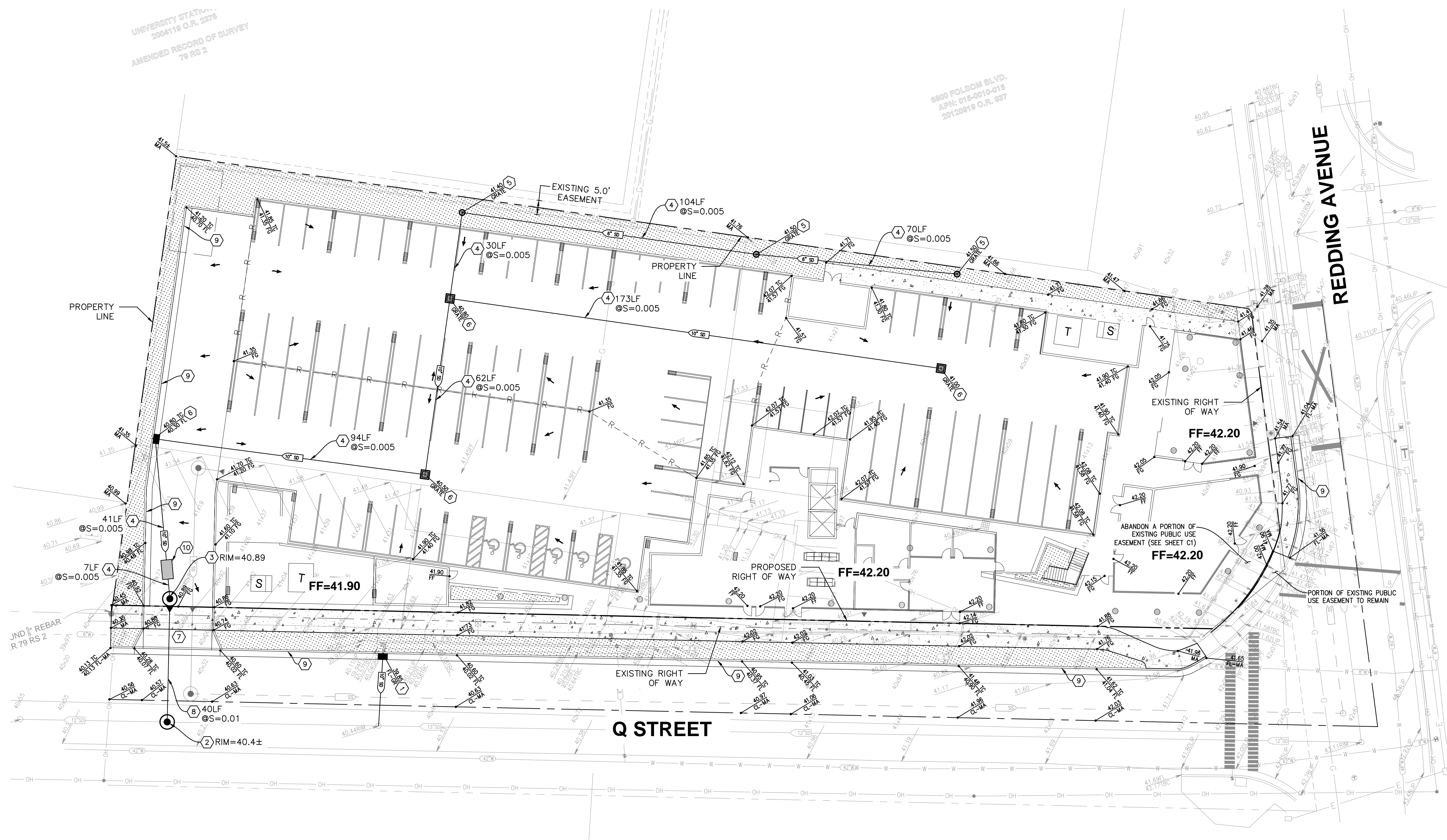


- ① INSTALL NEW SIDEWALK PAVEMENT.
- ② EXISTING SIDEWALK TO BE REMOVED.
- ③ EXISTING DRIVEWAY TO BE REMOVED.
- ④ EXISTING SIDEWALK AND CURB RAMPS TO REMAIN.
- ⑤ REMOVE EXISTING AC RAMP.
- ⑥ EXISTING UTILITY POLE.
- ⑦ PROPOSED PLANTER AREA. REFER TO LANDSCAPE PLANS.
- ⑧ REMOVE EXISTING SITE PAVEMENT AND INSTALL NEW PARKING LOT PAVEMENT.
- ⑨ REMOVE EXISTING SITE PAVEMENT AND INSTALL NEW DRIVE AISLE PAVEMENT.
- ⑩ CONCRETE SIDEWALK PAVEMENT AREA.
- ⑪ INSTALL RAIL AT BACK OF CURB RAMPS.

1. THIS PRELIMINARY PAVING PLAN WAS PREPARED TO DEPICT PROPOSED SITE IMPROVEMENT CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HEREON AS THE DESIGN PROCESS PROGRESSES.
2. THIS EXHIBIT IS BASED ON THE PRELIMINARY Q STREET COMMONS SITE PLAN PREPARED BY WEEKS + PARTNERS DATED APRIL 2018.
3. BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY MORROW SURVEYING DATED JUNE 2017.
4. SITE AREA: 52,930 SQUARE FEET
5. SEE ARCHITECTURAL SITE PLAN FOR PARKING MATRIX, AND BUILDING DIMENSIONS AND SETBACKS FROM PROPERTY LINE.







KEYNOTES

- 1 REMOVE EXISTING DRAIN INLET AND INSTALL MODIFIED TYPE B INLET AND LEADER.
- 2 INSTALL NEW STANDARD MANHOLE NO. 3 PER CITY OF SACRAMENTO STANDARD DWG. NO S-70.
- 3 INSTALL NEW STANDARD MANHOLE NO. 3 WITH TRAP AND SUMP PER CITY OF SACRAMENTO STANDARD DWG. NO. S-90.
- 4 INSTALL PRIVATE STORM DRAIN LINE PER CITY OF SACRAMENTO STANDARDS. SIZE, SLOPE AND LENGTH PER PLAN.
- 5 INSTALL LANDSCAPE DRAIN.
- 6 INSTALL DRAIN INLET.
- 7 INSTALL NEW DRIVEWAY PER CITY OF SACRAMENTO DETAIL T-22.
- 8 INSTALL 10" PVC SDR STORM DRAIN SERVICE TO CITY RIGHT OF WAY PER CITY OF SACRAMENTO STANDARDS.
- 9 INSTALL TYPE 2 CURB AND GUTTER.
- 10 UNDERGROUND STORMWATER QUALITY MECHANICAL SYSTEM.

NOTES

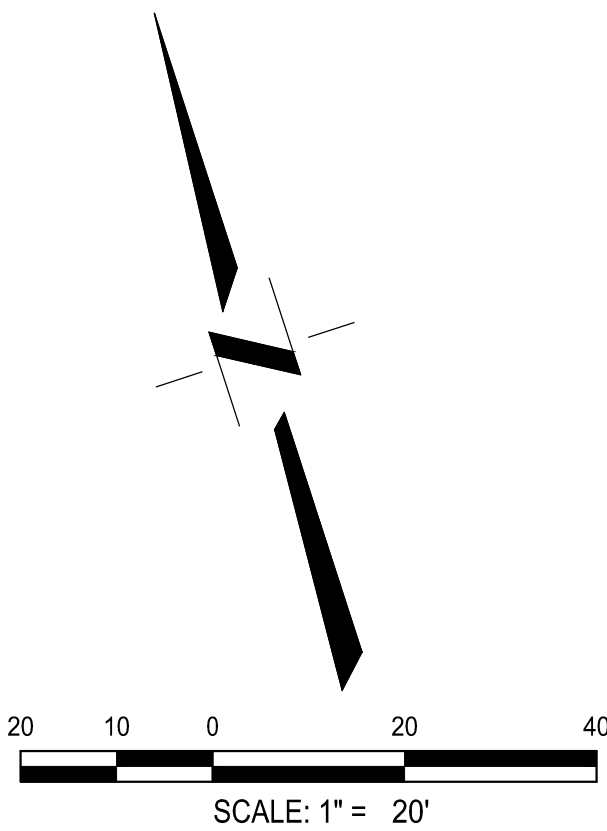
1. THIS PRELIMINARY GRADING AND DRAINAGE PLAN WAS PREPARED TO DEPICT PROPOSED GRADING AND DRAINAGE CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HEREON AS THE DESIGN PROCESS PROGRESSES.
2. THIS EXHIBIT IS BASED ON THE PRELIMINARY Q STREET COMMONS SITE PLAN PREPARED BY MEEKS + PARTNERS DATED APRIL 2018.
3. PROPOSED ELEVATIONS SHOWN ARE ESTIMATES ONLY. ACTUAL ELEVATIONS MAY CHANGE DURING FINAL DESIGN.
4. BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY MORROW SURVEYING DATED JUNE 2017.
5. EXISTING UTILITY IMPROVEMENTS ARE BASED ON AVAILABLE CITY BASE UTILITY MAPS. ACTUAL SIZES, TYPES AND LOCATIONS MAY VARY FROM INFORMATION SHOWN HEREON.
6. NO EXISTING ON-SITE DRAINAGE COURSES, ETC.

IMPERVIOUS SURFACE

TOTAL SITE AREA	EXISTING	PROPOSED
52,930 SF	52,930 SF	50,113 SF

NOTES:

1. PROPOSED IMPERVIOUS SURFACE AREAS SHOWN ARE APPROXIMATE AND WILL VARY AS THE DESIGN PROCESS DEVELOPS.
2. THE EXISTING PROJECT SITE IS 100% IMPERVIOUS. THERE IS NO INCREASE IN IMPERVIOUS AREA TO THE SITE, THEREFORE, IT IS ASSUMED THAT NO MITIGATION OF DRAINAGE IMPACT WILL BE REQUIRED.
3. STORM WATER QUALITY MITIGATION MEASURES WILL BE PROVIDED BY AN UNDERGROUND MECHANICAL SYSTEM OR OTHER APPROVED METHOD.



DESIGNED BY KH/CK  
DRAWN BY KH  
CHECKED BY CK  
SCALE  
1" = 20'

APPD.  
BY  
REVISIONS  
NO. DATE

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CALIFORNIA

Q STREET COMMONS  
SITE GRADING PLAN

SHEET  
C2  
OF  
4

DATE: 04/20/18  
JOB NO: 1672.04















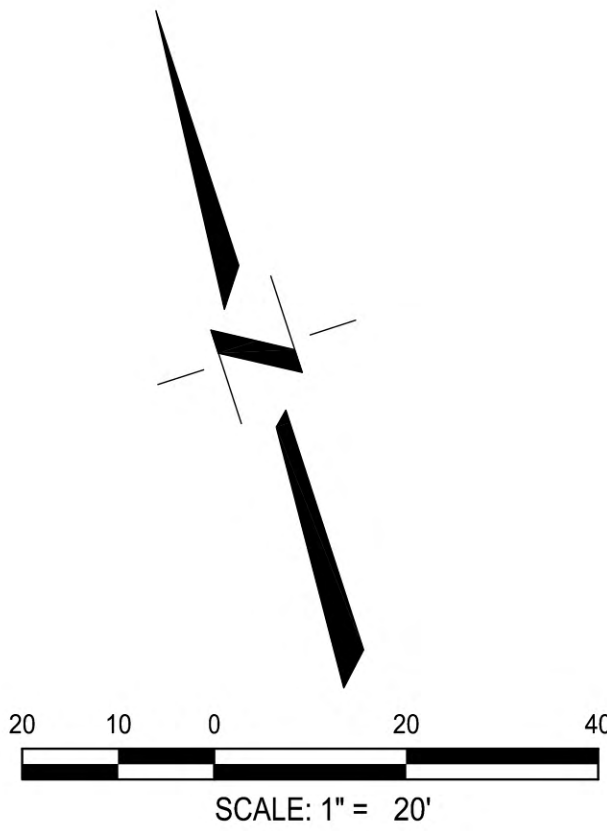
PLANTING LEGEND

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	WATER USE	HXX	ORNAMENTAL GRASSES	CODE	BOTANICAL NAME	COMMON NAME	CONT.	WATER USE	HXX
	PIS KEI	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	15 gal		30'x30'		CAL KAR	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	L	4'x3'
GROUNDCOVERS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	WATER USE	HXX	SMALL SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	WATER USE	HXX
	JUN BUF	Juniperus sabina 'Buffalo'	Buffalo Juniper	1 gal	L	1'x6'		MJH RIG	Muhlenbergia rigens	Deer Grass	5 gal		4'x4'
LARGE SHRUBS	LAN WH2	Lantana montevidensis 'White Lightning'	Trailing Lantana	1 gal	L	1'x5'		CEA VAL	Ceanothus maritimus 'Valley Violet'	Maritime Ceanothus	1 gal	L	2'x4'
	ACA MOL	Acanthus mollis	Bear's Breech	1 gal	M	4'x4'		CIS SAL	Cistus salvifolius	Rockrose Sageleaf	1 gal	L	2'x6'
	NAN COM	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	1 gal	L	4'x3'		EPI CAR	Epilobium canum 'Carmen's Grey'	Carmen's Grey California Fuchsia	1 gal	L	2'x4'
MEDIUM SHRUBS	MAH COM	Mahonia aquifolium 'Compacta'	Compact Oregon Grape	5 gal	L	3'x3'		MAH OR2	Mahonia aquifolium 'Orange Flame'	Oregon Grape	5 gal	L	2'x3'
	PHO SPR	Phormium tenax 'Dazzler'	New Zealand Flax	1 gal	L	3'x3'		RHA BA4	Rhapiolepis indica 'Ballerina'	Ballerina Indian Hawthorn	1 gal	M	2'x4'
	PIT WHE	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Mock Orange	1 gal	M	2.5'x3'		SAL RED	Salvia greggii 'Red'	Autumn Sage	5 gal	L	2'x2'



PLANTING NOTES

- ALL LANDSCAPING SHALL BE PROVIDED AND PERFORMED IN ACCORDANCE WITH PLANS, DETAILS, AND SPECIFICATIONS.
- ALL TREES AND SHRUBS WILL BE INSPECTED, ACCEPTED, OR REJECTED BASED ON CALIFORNIA STATE DEPARTMENT OF AGRICULTURE'S REGULATION FOR NURSERY INSPECTIONS, RULES, AND RATING. NO ROOT BOUND PLANTS SHALL BE USED, ONLY HEALTHY, WELL-FORMED, AND VIGOROUS PLANT MATERIAL SHALL BE USED.
- CONTRACTOR SHALL REMOVE LIME TREATED SOIL IN ALL PLANTING AREAS AND IMPORT PREFERRED LANDSCAPE PLANTING SOIL PRIOR TO IRRIGATION AND PLANTING.
- ALL PLANTING AREAS SHALL BE AMENDED TO A DEPTH OF 6" MINIMUM PRIOR TO DIGGING PLANTING PITS PER RECOMMENDATIONS OF THE SOIL ANALYSIS. REFER TO SOIL ANALYSIS NOTES ON THIS SHEET.
- ALL TREES & SHRUBS AT MATURITY SHALL HAVE A CLEARANCE OF THREE FEET (3') AROUND ANY ELECTRICAL BOXES, FIRE HYDRANTS, OR OTHER UTILITY BOXES. CONTRACTOR SHALL ADJUST AS REQUIRED IN FIELD.
- ALL TREES SHALL HAVE A CLEARANCE OF TWELVE FEET (12') AROUND ANY LIGHT FIXTURES FROM CENTER OF TREE TRUNK. CONTRACTOR SHALL ADJUST AS REQUIRED IN FIELD.
- ROOT BARRIERS ARE TO BE INSTALLED ADJACENT TO ALL SIDEWALKS WITHIN 5'-0" OF TREE TRUNK FOR A LENGTH OF 8' ON EACH SIDE OF THE TRUNK. SEE LANDSCAPE DETAILS.
- ALL PLANTING AREAS SHALL BE COMPLETELY FREE OF TRASH, DEBRIS, ROCKS AND CONSTRUCTION MATERIALS LARGER THAN 2".
- IF ADDITIONAL SOIL IS REQUIRED, IT SHALL BE APPROVED LOAM AS SIMILAR TO THE EXISTING SOIL AS POSSIBLE, FREE OF DEBRIS AND NOXIOUS WEEDS. PRIOR TO PLACING ADDITIONAL SOIL, DISC OR SCARIFY THE SUBGRADE TO A DEPTH OF AT LEAST 6" TO PERMIT BONDING TO THE SUBGRADE. SPREAD AND ROTOTILL A ONE-INCH LAYER OF NEW SOIL, THEN PROCEED TO PLACE REMAINING SOIL AND ESTABLISH FINISH GRADE.
- AFTER AMENDING THE SOIL, PRIOR TO PLANTING, A PRE-EMERGENT SHALL BE APPLIED TO ALL PLANTING AREAS. USE SURFLAN, RONSTAR-S, OR APPROVED EQUAL. CONTRACTOR SHALL APPLY AS RECOMMENDED PER MANUFACTURER RECOMMENDATIONS.
- ALL PLANTING AREAS SHALL BE BROUGHT TO FINISH GRADE BEFORE PLANTING BEGINS. FINISH GRADE SHALL BE 3" BELOW SURFACE OF WALKS, CURBS, AND PAVED AREAS IN PLANTING AREAS WHERE BARK IS TO BE INSTALLED. GRADES SHALL BE FLUSH AT CATCH BASINS. SURFACES SHALL BE SLOPED WITH REGARD TO DRAINAGE REQUIREMENTS SO THAT WATER DOES NOT PUDDLE OR STAND.
- ALL PLANTING AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, FENCES & OTHER STRUCTURES, AND FROM SIDEWALK TO CURB.
- PLANT HOLES SHALL BE 3X WIDTH AND 15X DEPTH FOR SHRUBS AND 4X WIDTH AND 15X DEPTH TREES. BACKFILL FOR THE PLANT HOLES SHALL BE EXISTING SOIL WHICH HAS BEEN PREVIOUSLY AMENDED PER SOILS REPORT.
- BARK MULCH SHALL BE SPREAD IN ALL PLANTER AREAS AS FOLLOWS:  
TREES & SHRUB AREAS: 3" LAYER MIN. OF WALK-ON BARK. RAINGARDEN PLANTER AREAS: 2" OF SMALL NON FLOATING CHIPPED BARK MULCH PER LANDSCAPE DETAILS.  
MULCH SHALL BE FREE OF LARGE WOODY PIECES, SOIL, STONES, STICKS, DEBRIS OR OTHER FOREIGN MATTER. DO NOT INSTALL MULCH WITHIN 6" OF TREE TRUNKS, TYPICAL. ALL MULCH AREAS SHALL BE BOUNDED ON THEIR PERIMETER WITH RETENTION DEVICES SUCH AS BENDER BOARD, RAISED PAVEMENT OR SIMILAR BOARDERS AND ALL BOUNDARIES SHALL BE RAISED 4" ABOVE ADJACENT LANDSCAPE GRADE OR TO THE DEPTH OF THE MULCH.
- ACCEPTANCE OF ALL NATIVE HYDROSEED AREAS WILL BE BASED ON UNIFORM COLOR AND ESTABLISHMENT OF HYDROSEED WITHOUT BARE SPOTS. IF HYDROSEED IS NOT ESTABLISHED PRIOR TO THE END OF THE MAINTENANCE PERIOD CONTRACTOR SHALL REPAIR HYDROSEED AREAS AND SHALL CONTINUE MAINTENANCE UNTIL HYDROSEED AREAS ARE ACCEPTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, AND SERVICES REQUIRED TO MAINTAIN THE LANDSCAPE IN AN ATTRACTIVE CONDITION AS SPECIFIED HEREIN FOR A PERIOD OF 90 DAYS AFTER FINAL INSPECTION BY OWNER. MAINTENANCE PERIOD SHALL COMMENCE AFTER ALL PLANTING AND RELATED WORK HAS BEEN COMPLETED AS DETERMINED AT FINAL INSPECTION IN ACCORDANCE WITH THE PLANS AND STANDARD SPECIFICATIONS.
- SPECIAL WARRANTY: WARRANT THE FOLLOWING LIVING PLANT MATERIALS FOR THE FOLLOWING SPECIFIED TIME PERIOD AFTER DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY OWNER, ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.  
1) TREES - 1 YEAR      2) SHRUBS - 6 MONTHS      3) GROUND COVERS - LENGTH OF MAINTENANCE
- REMOVE AND REPLACE DEAD PLANTING MATERIALS IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. REPLACE PLANTING MATERIALS THAT ARE IN A SUBSTANTIALLY UNHEALTHY CONDITION (MORE THAN 25% OF THE PLANT DEAD OR REMOVED DUE TO DEATH OF BRANCHES, ETC.) AT THE END OF THE WARRANTY PERIOD.
- A LIMIT OF ONE REPLACEMENT OF EACH PLANT MATERIAL WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.




DESIGNED BY BK/OM  
DRAWN BY BK/OM  
CHECKED BY BK/ME  
SCALE  
1" = 20'

APPROVED BY  
DATE  
NO.

REVISIONS  
DATE  
NO.

BY  
DATE  
NO.

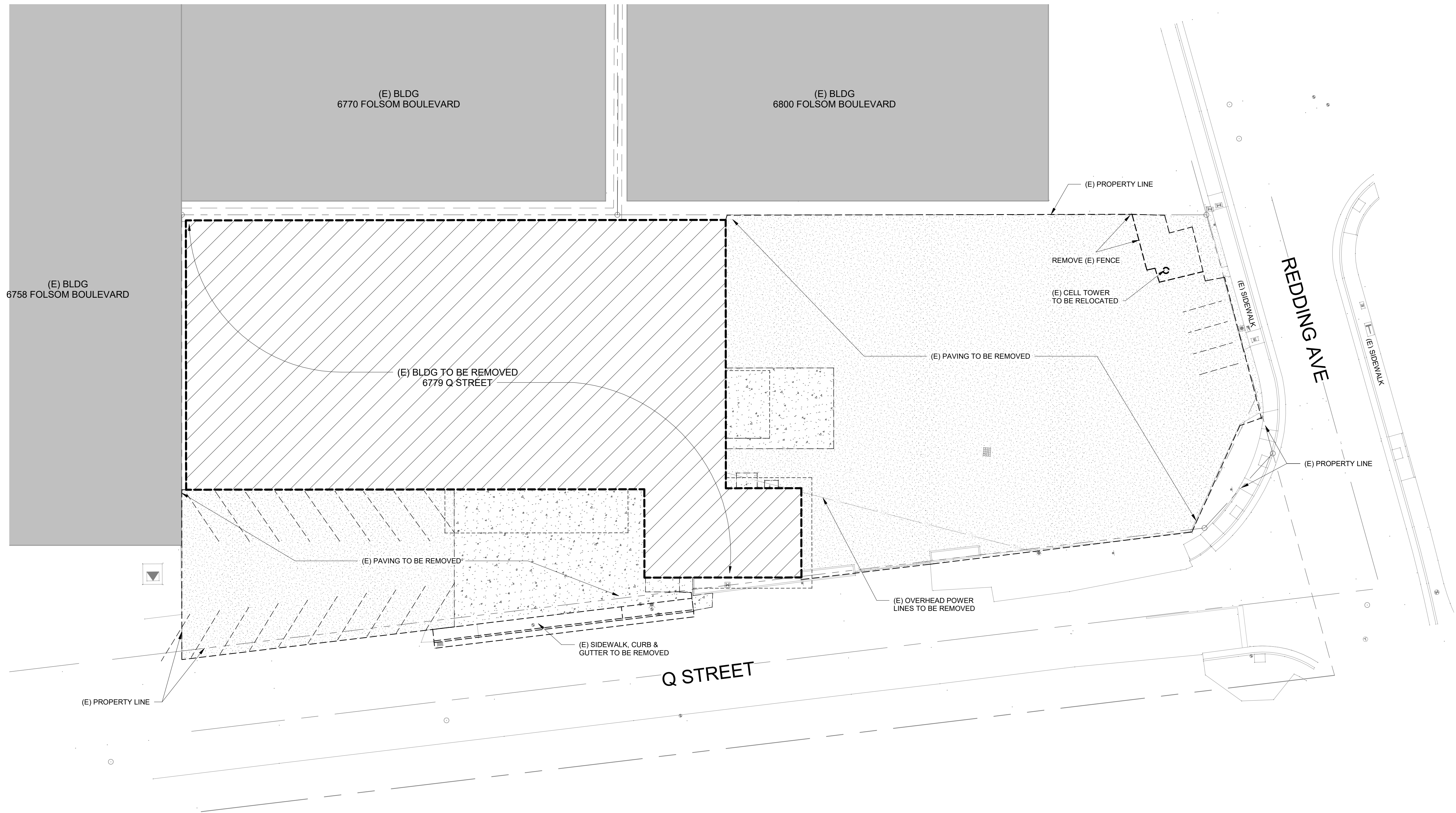
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PRELIMINARY PLANTING PLAN  
SACRAMENTO  
CALIFORNIA

SHEET  
1  
OF  
4  
DATE: 04/20/18  
JOB NO: 1672.04

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1 Site Demolition Plan - 6779 Q Street  
1" = 20'-0"



## Site Demo - Q St. Commons

Sacramento Q Street, LLC

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16000 Memorial Drive  
Suite 100  
Houston, Texas 77079  
281.558.8787

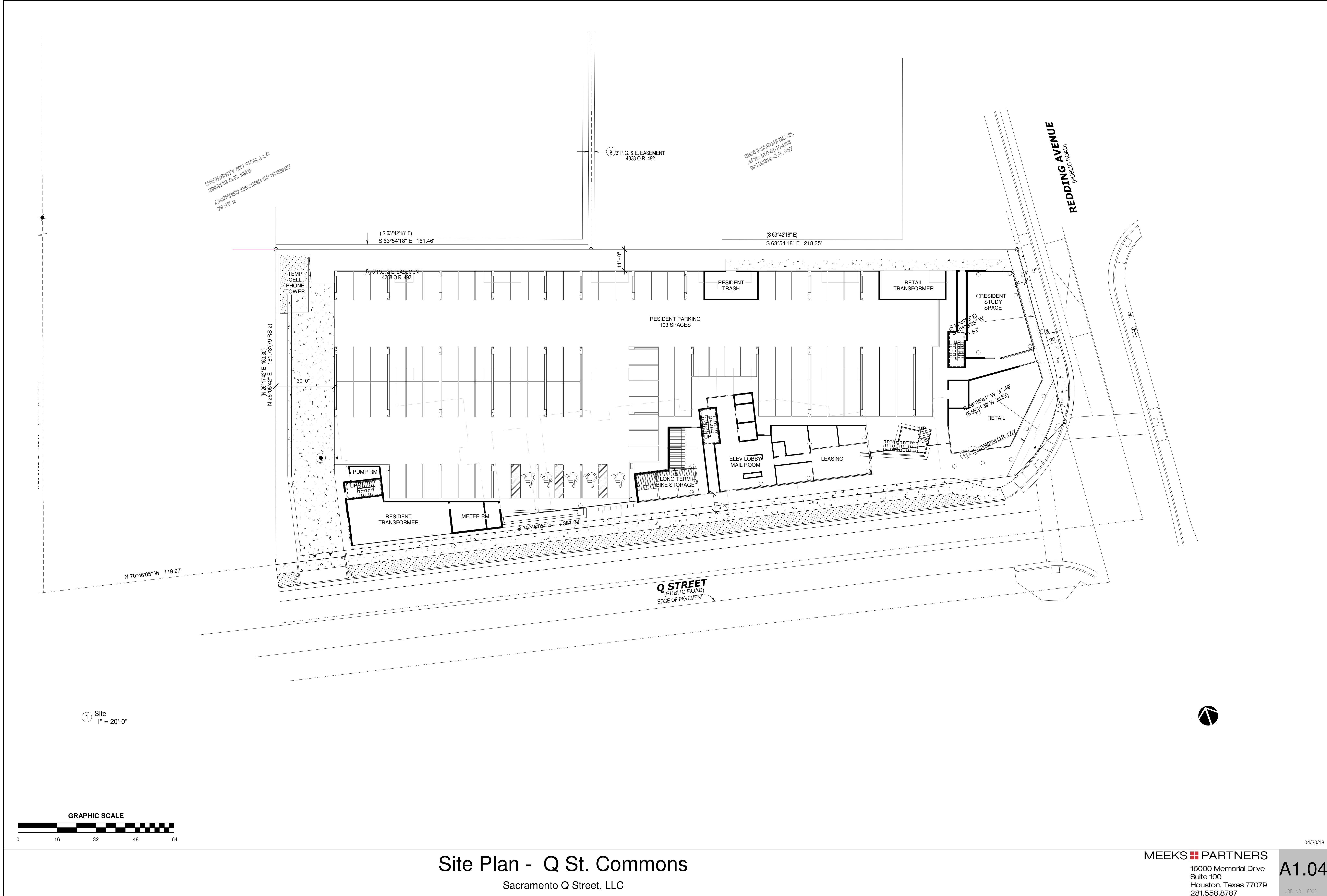
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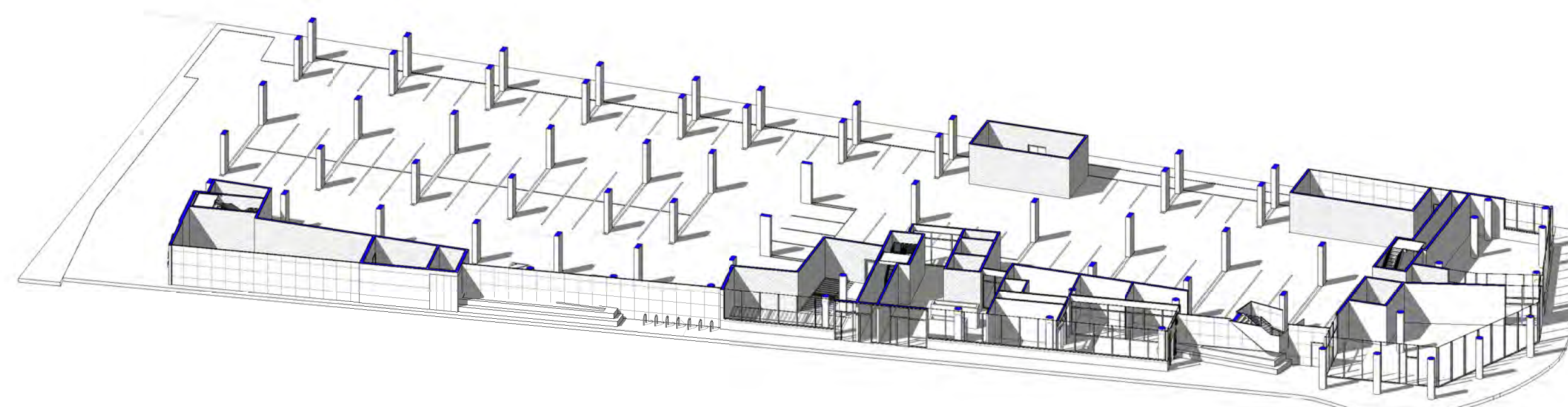
Site Plan - Q St. Commons  
Sacramento Q Street, LLC

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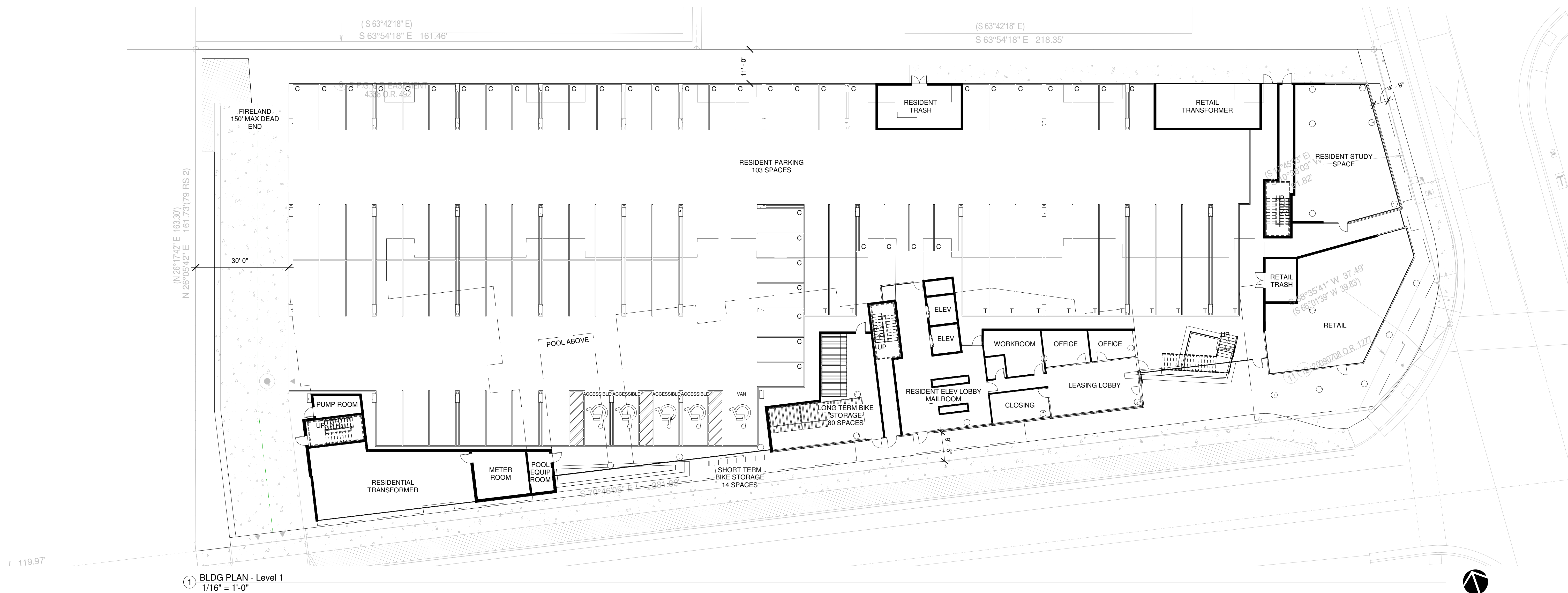
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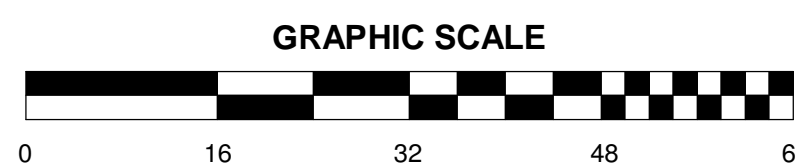




2 AXON LEVEL 01



1 BLDG PLAN - Level 1  
1/16" = 1'-0"



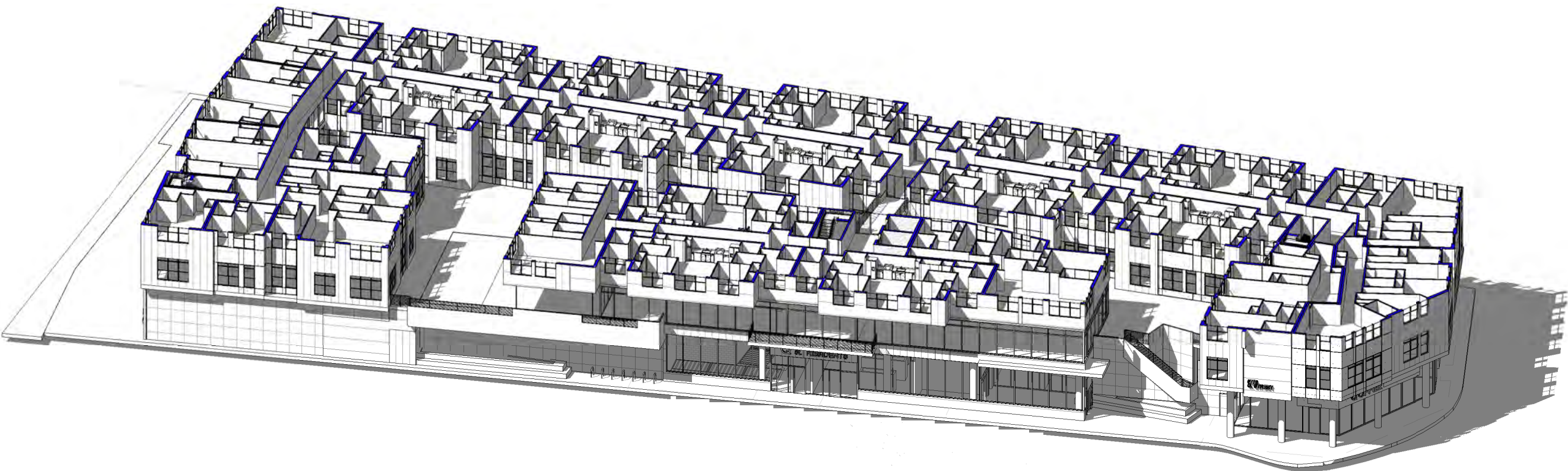
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Sacramento Q Street, LLC

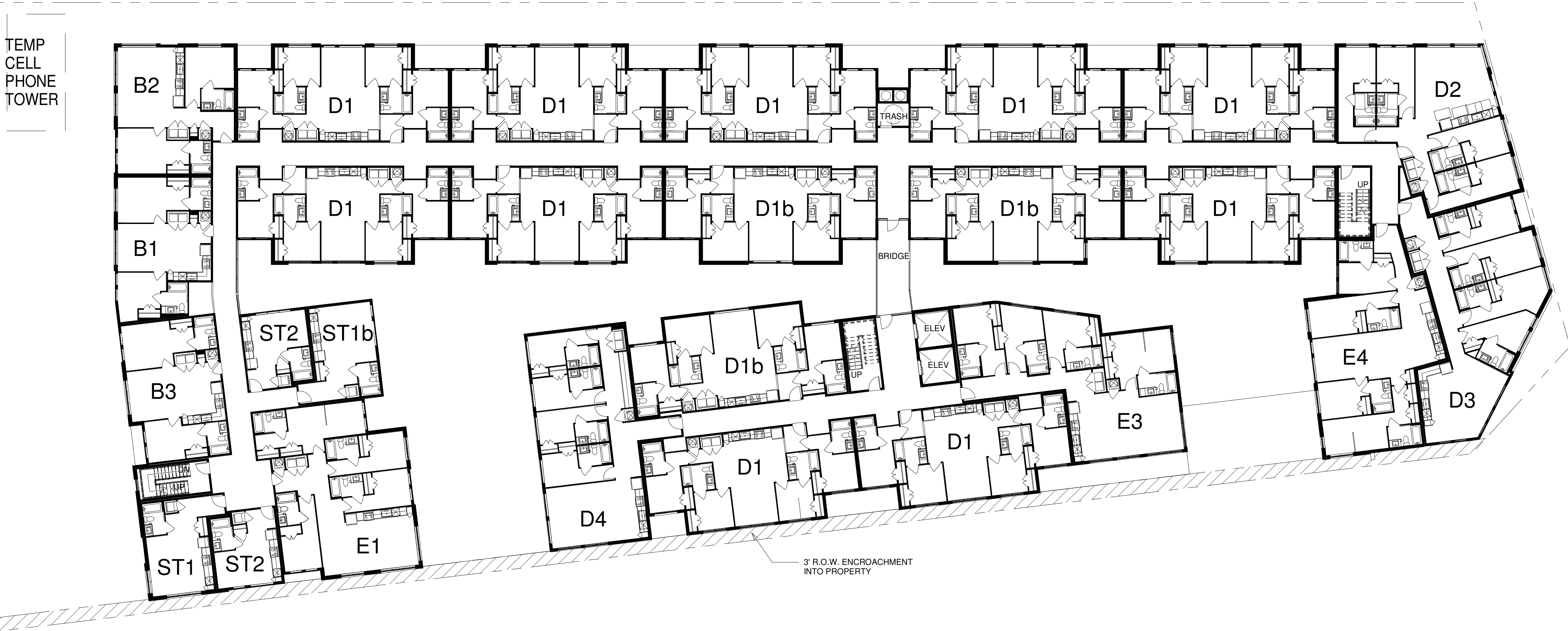




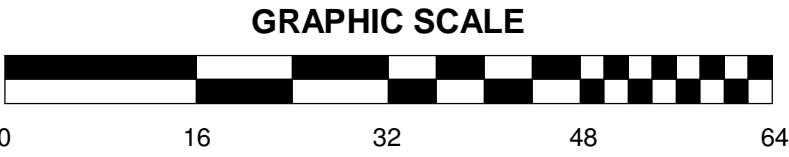




2 AXON LEVEL 03



1 BLDG PLAN - Level 3  
1/16" = 1'-0"



Bldg Lvl 03 - Q St. Commons  
Sacramento Q Street, LLC

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04/20/18

A3.02

JOB NO.: 18009

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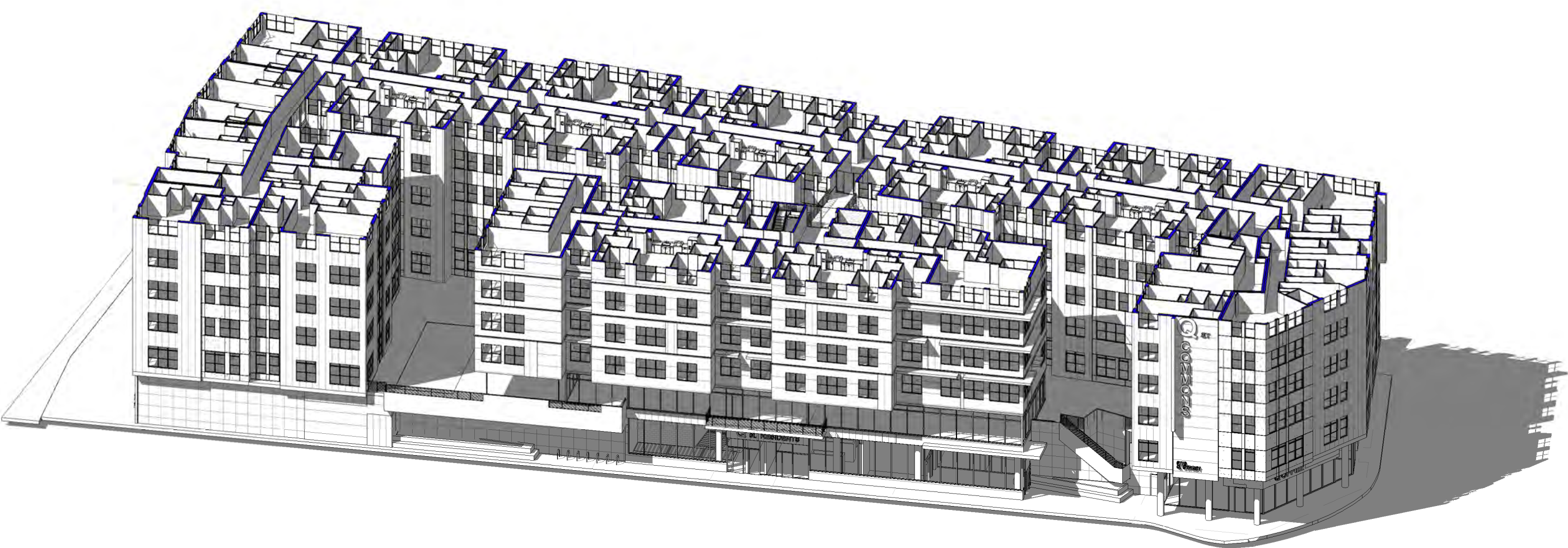




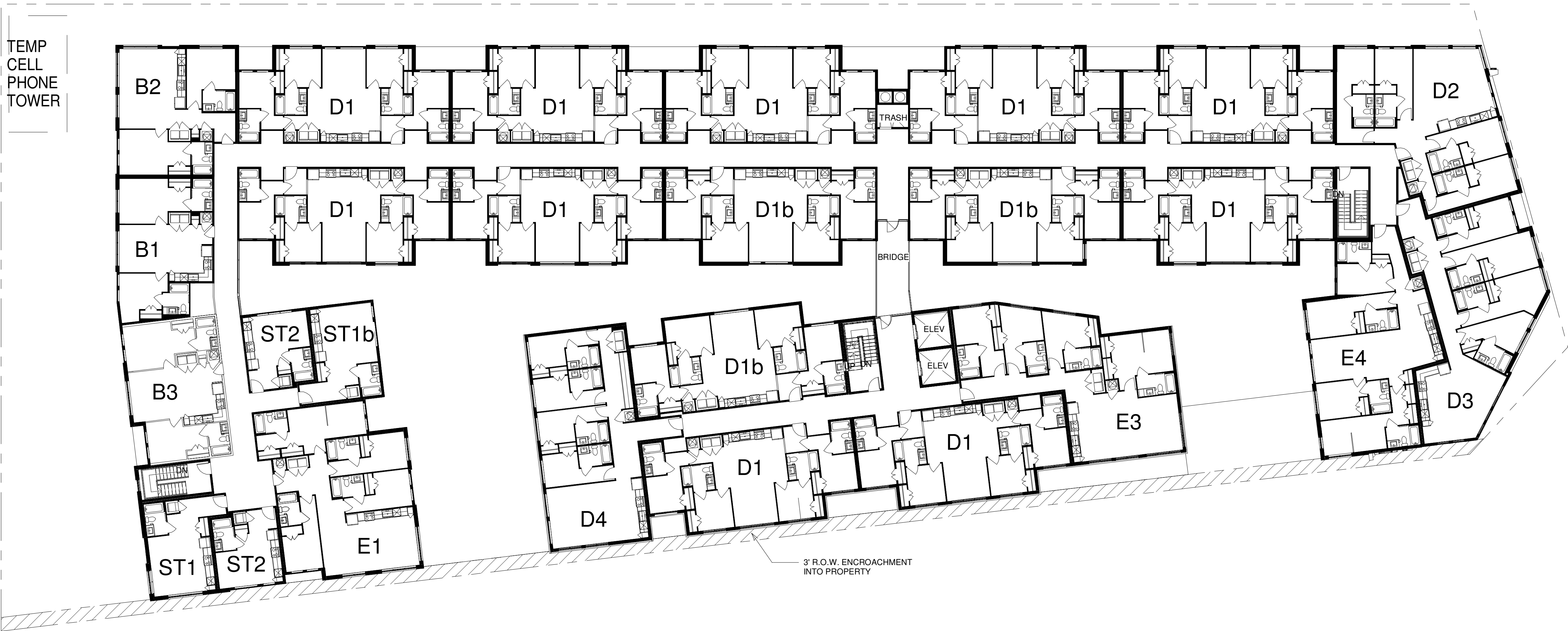




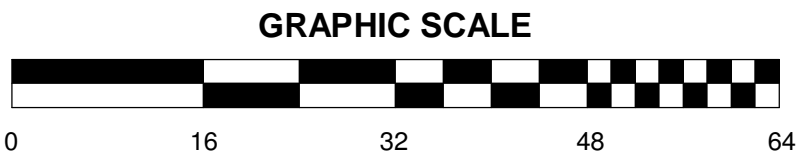




2 AXON LEVEL 06



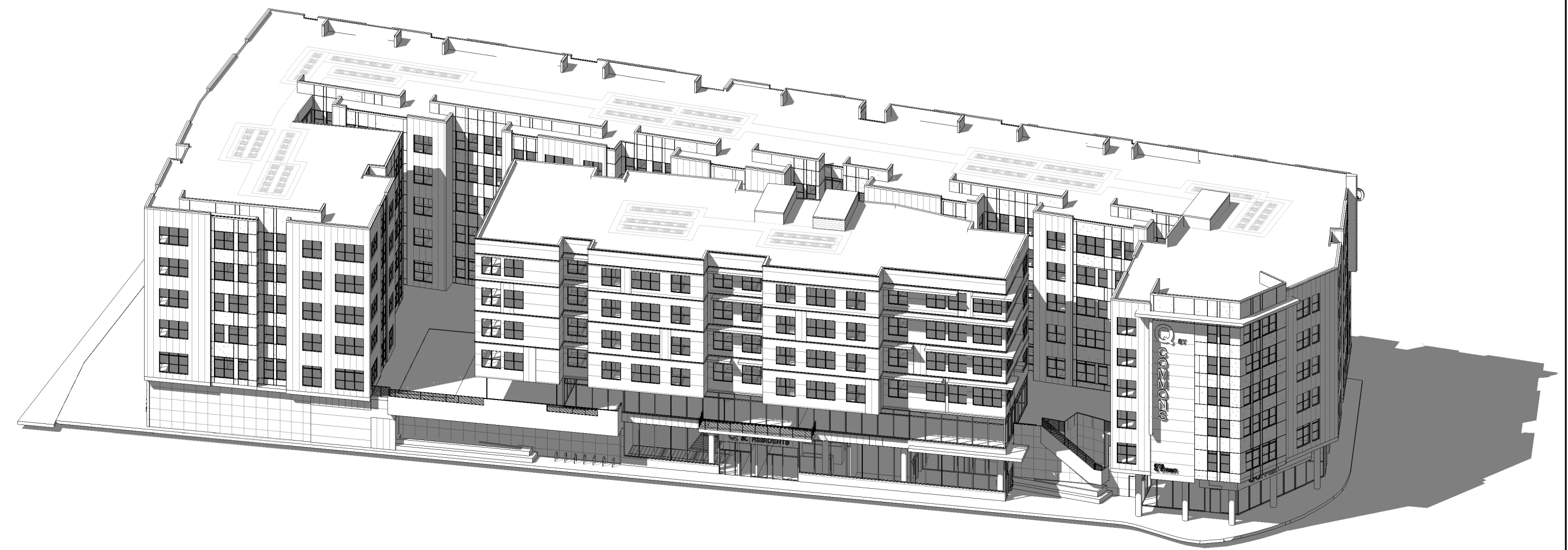
1 BLDG PLAN - Level 6  
1/16" = 1'-0"



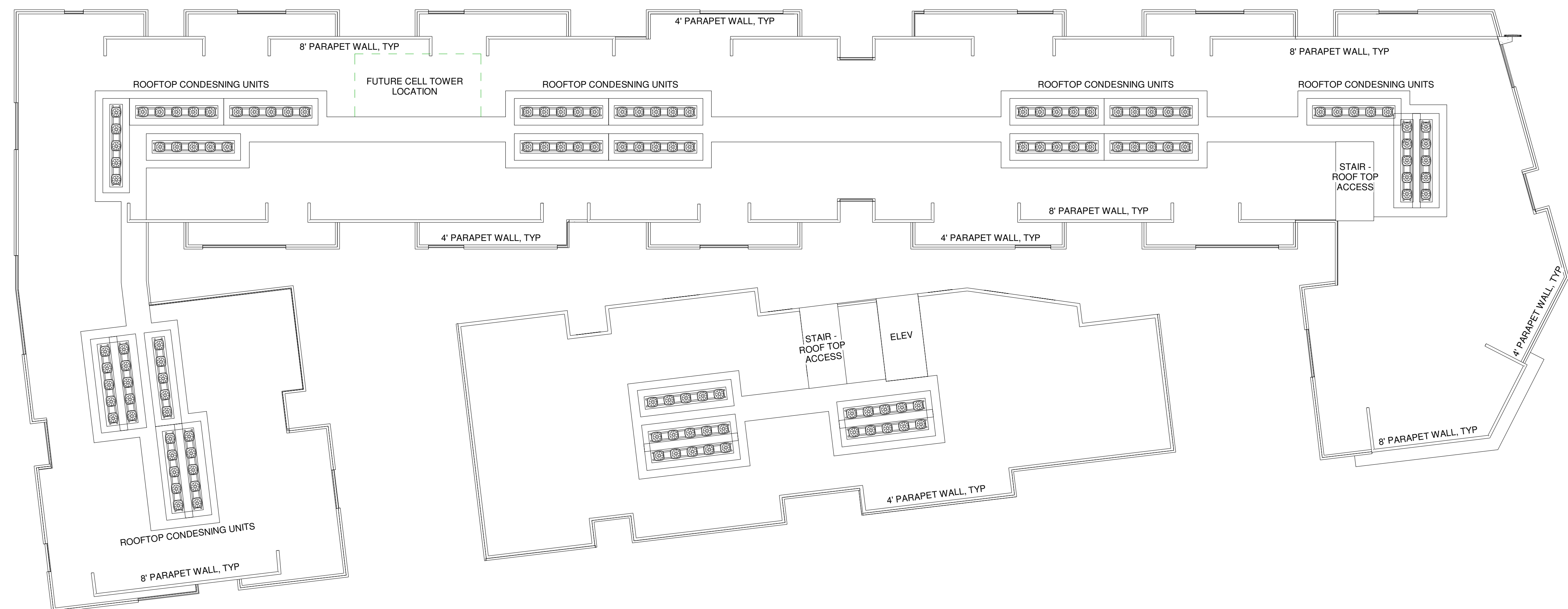
Bldg Lvl 06 - Q St. Commons  
Sacramento Q Street, LLC

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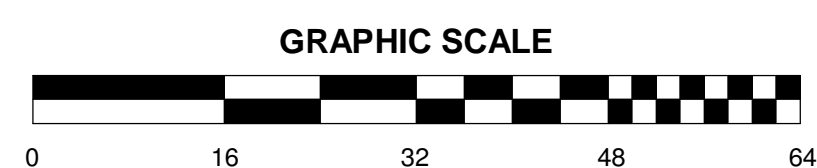




2 AXON LEVEL Roof



1 BLDG PLAN - Level Roof  
1/16" = 1'-0"



Bldg Lvl Roof - Q St. Commons  
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3.06 P. CO.

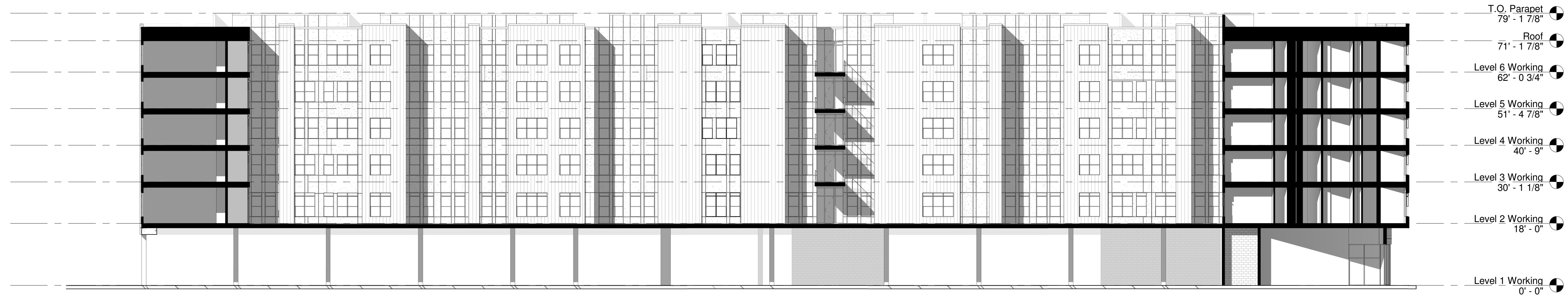
DB NO.: 18009





Exterior Elevations - Q St. Commons  
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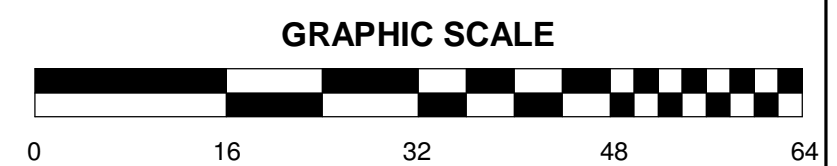




② Section - CTYD Elev 01  
1/16" = 1'-0"



① Section - Longitudinal Sect 01  
1/16" = 1'-0"



## Bldg Section - Q St. Commons

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**A4.01**

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STREET VIEW LOOKING SOUTHWEST AT THE CORNER OF 69TH ST AND REDDING AVE



STREET VIEW LOOKING SOUTH ALONG 69TH ST./REDDING AVE



STREET VIEW LOOKING NORTH EAST ALONG Q ST.



STREET VIEW LOOKING NORTHEAST ALONG Q ST.



AERIAL VIEW LOOKING NORTH TOWARDS CAMPUS

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STREET VIEW LOOKING NORTHWEST AT THE CORNER OF Q ST. AND REDDING AVE



STREET VIEW LOOKING NORTH ALONG Q ST.



STREET VIEW LOOKING AT RETAIL ENTRY



AERIAL VIEW LOOKING SOUTH



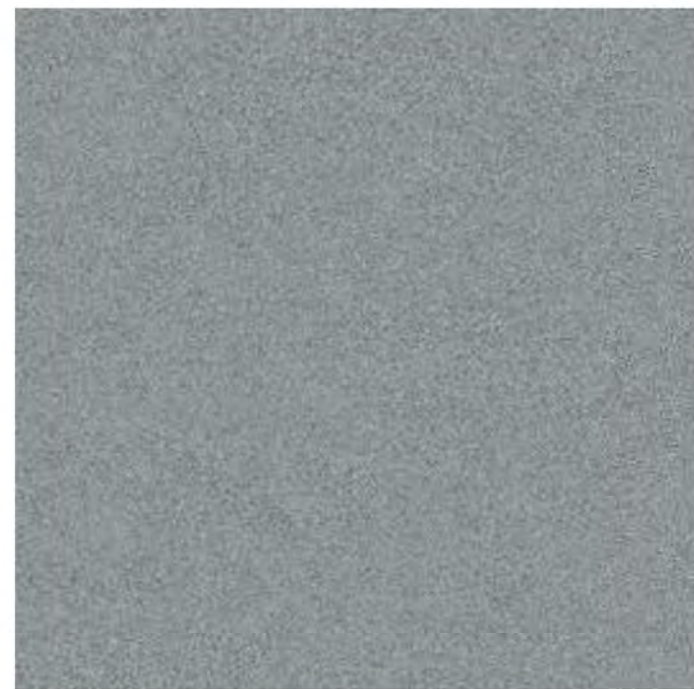
STREET VIEW LOOKING AT LEASING ENTRY

# Renderings - Q St. Commons Sacramento Q Street, LLC





S1 - STUCCO COLOR 01



S2 - STUCCO COLOR 02



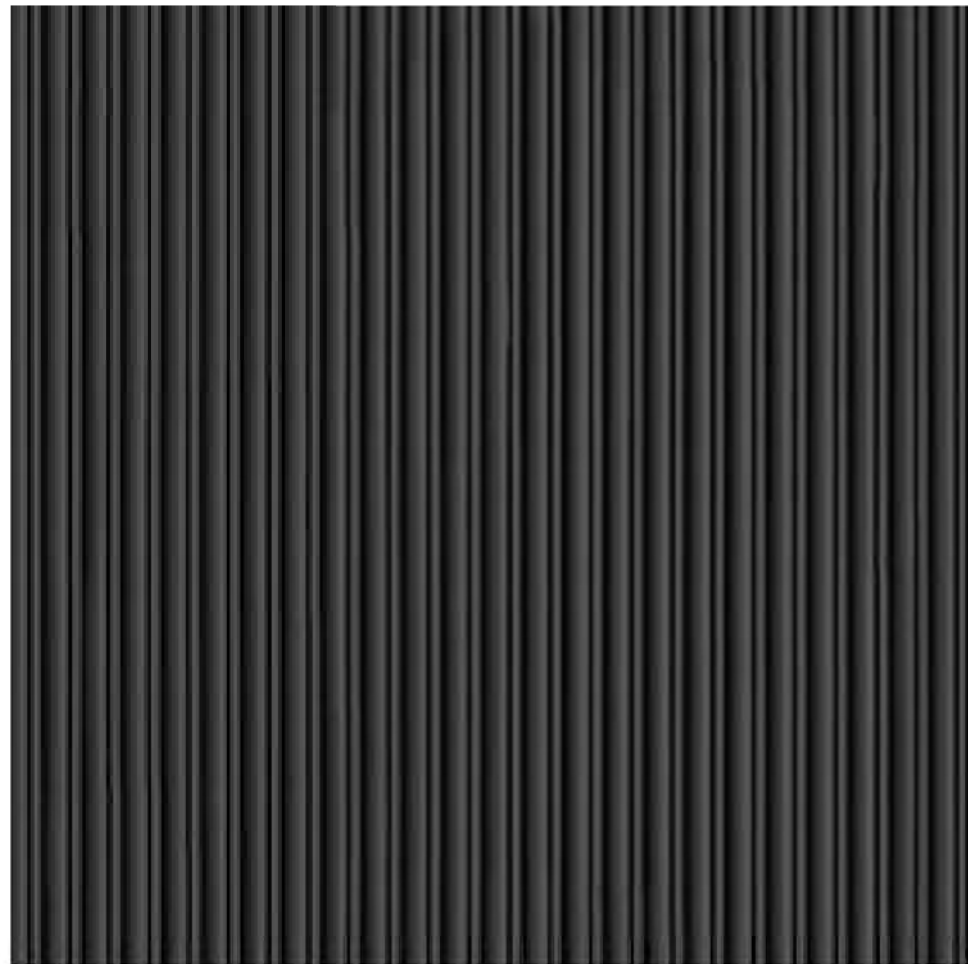
S3 - STUCCO COLOR 03



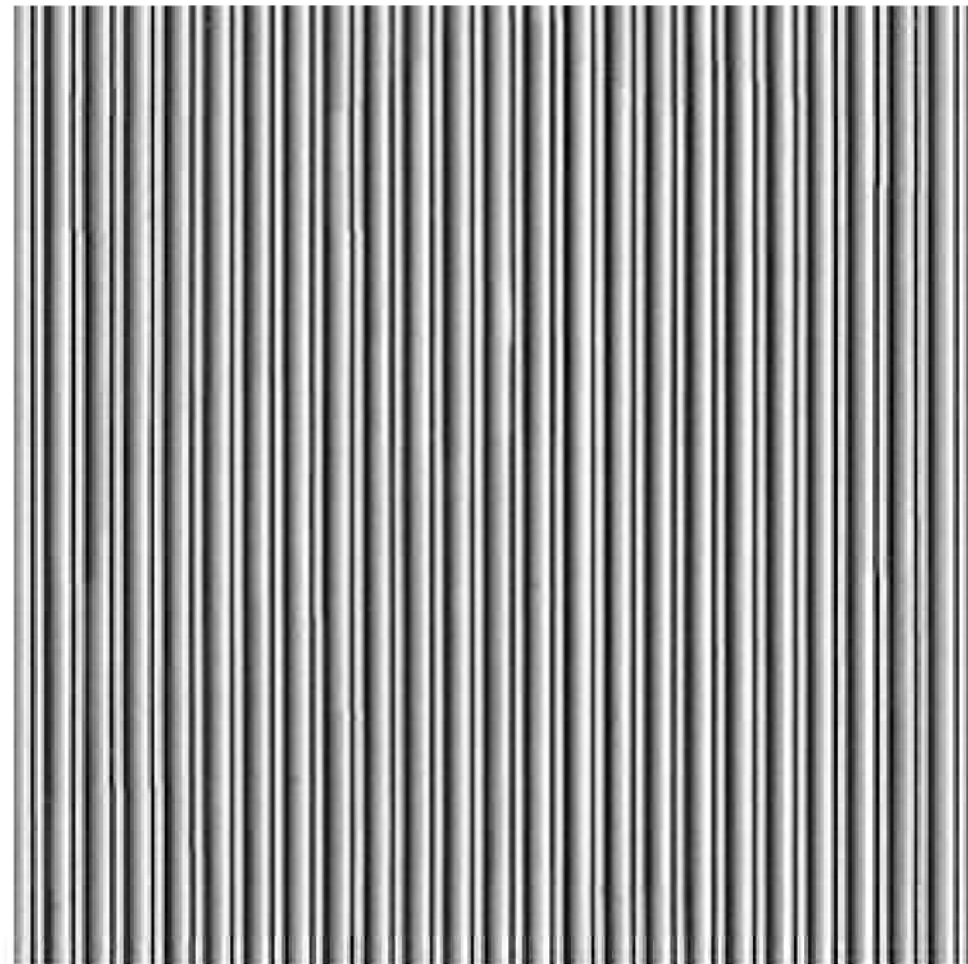
MTL 03 - COURRGATED METAL 02



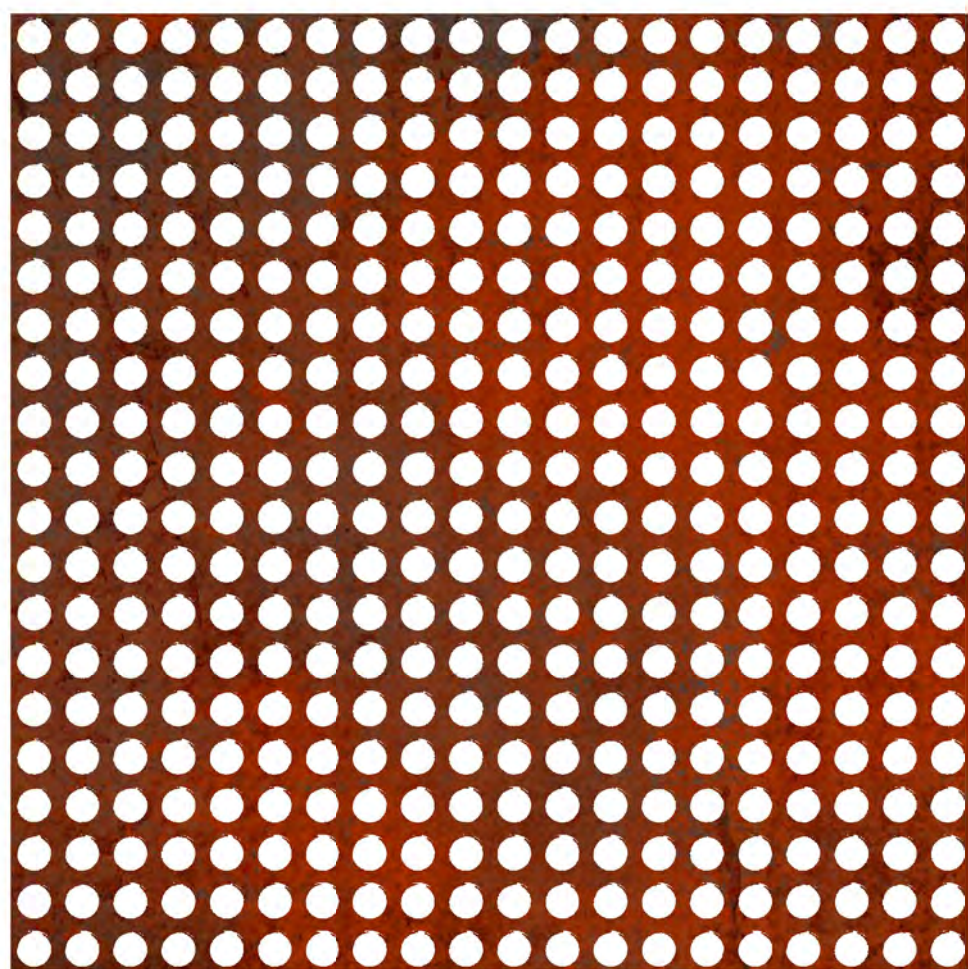
MAS 01 - MASONRY 01



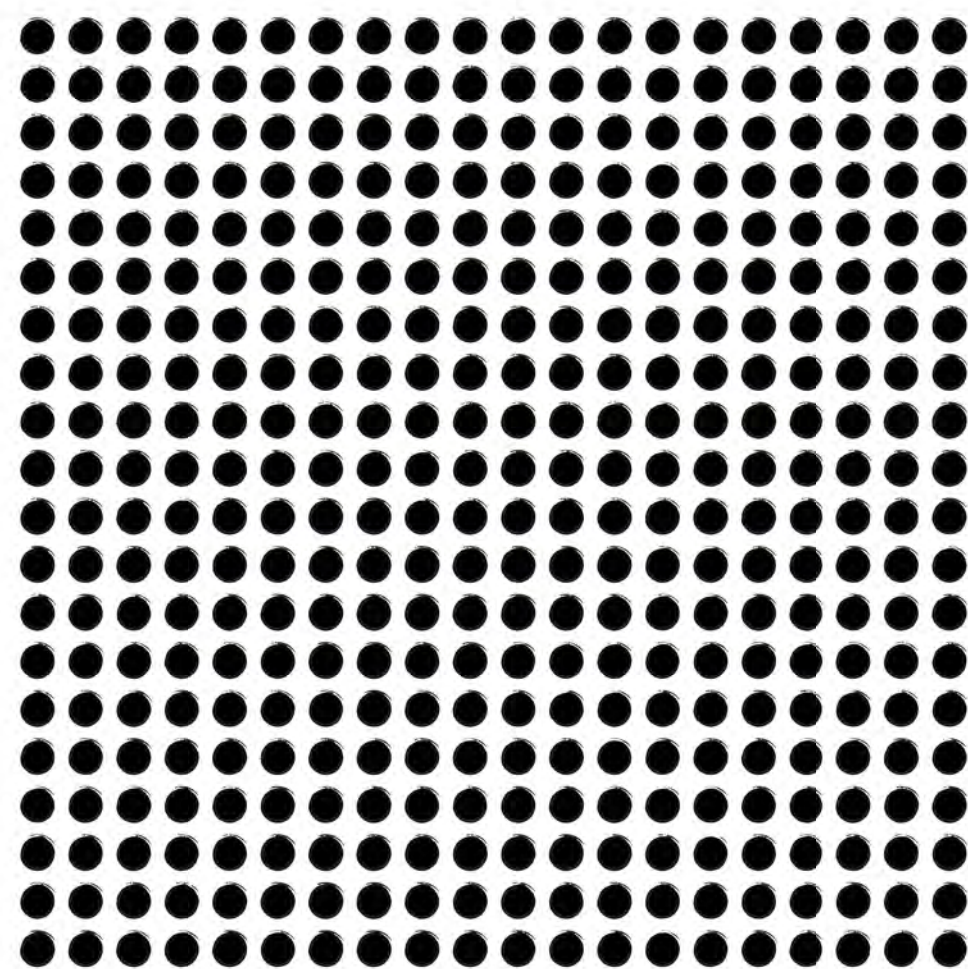
MTL 02 - COURRGATED METAL  
COLOR 02



MTL 01 - COURRGATED METAL  
COLOR 01



SCRN 02 - PERFORATED METAL SCREEN  
COLOR 02



SCRN 01 - PERFORATED METAL SCREEN  
COLOR 01



① Color - South Elev Materials  
1/16" = 1'-0"

# Materials - Q St. Commons

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