



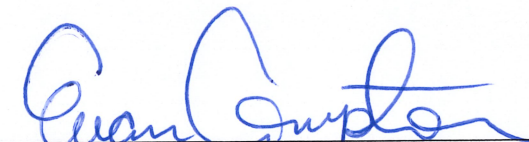
**CITY OF SACRAMENTO
PLANNING AND DESIGN COMMISSION
RECORD OF DECISION
300 Richards Boulevard, Sacramento, CA 95811**

Project Name:	Q Street Commons		
Project Number:	DR18-169		
Project Location:	6779 Q Street		
Assessor's Parcel No.:	015-0010-043		
Applicant:	Stacy Kincaid, Sacramento Q Street, LLC		
Action Status:	Approved with Conditions	Action Date:	9/27/18

REQUESTED ENTITLEMENT(S):	A. Mitigated Negative Declaration;
	B. Mitigation Monitoring Plan; and
	C. Site Plan and Design Review to construct a new mixed-use building with ground floor commercial and 125 residential units on approximately 1.27 acres in the Residential Mixed-Use and Transit Overlay zone (RMX-TO), with deviations for height, front street-side setbacks, and open space.

ACTIONS TAKEN:	On 9/27/18 the Planning and Design Commission took the following actions based on the attached findings of fact and subject to the attached conditions of approval: Approved entitlements (A) through (C) above with conditions.
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Action certified by:


Evan Compton, Principal Planner

Sent to Applicant:

9/28/18

By:


Michael Hanebutt, Associate Planner

NOTICE OF PROTEST RIGHTS

The above conditions include the imposition of fees, dedications, reservations, or other exactions. Pursuant to California Government Code section 66020, this Notice of Decision serves as written notice to the project applicant of (1) the amount of any fees and a description of any dedications, reservations, or exactions imposed, and (2) that the applicant may file a protest against the imposition of those fees, dedications, reservations, or other exactions within 90 days of the date of this approval, which is deemed to be the date that the fees, dedications, reservations, or other exactions are imposed. If the payment of a fee is imposed as a condition of approval, but the amount of the fee is not stated in this Notice of Decision and is not otherwise available to the applicant on a fee schedule or otherwise, the 90 days protest period will begin to run when the applicant is notified of the amount of the fee.

For purposes of this notice, the following fees are deemed to be imposed upon approval of the first discretionary entitlement for the subject development project and are subject to the protest procedures set forth in Title 18 of the Sacramento City Code as indicated: North Natomas Public Facilities Fee, Transit Fee, and Drainage Fee (SCC 18.24.160); North Natomas Land Acquisition Fee (SCC 18.24.340); North Natomas School Facilities Fee (SCC 18.24.710); Jacinto Creek Planning Area Facilities Fee (SCC 18.28.150); Willow Creek Project Area Development Fee (SCC 18.32.150); Development Impact Fees for the Railyards, Richards Boulevard, and Downtown Areas (SCC 18.36.150); Habitat Conservation Fee for the North and South Natomas Community Plan Areas (18.40.090); and Park Development Impact Fee (18.44.140).

The time within which to challenge a condition of approval of a tentative subdivision map, including the imposition of fees, dedication, reservation, or other exaction, is governed by Government Code section 66499.37

EXPIRATION

TENTATIVE MAP: Failure to record a final map within three years of the date of approval or conditional approval of a tentative map shall terminate all proceedings.

CONDITIONAL USE PERMIT: A use for which a Conditional Use Permit is granted must be established within three years after such permit is issued. If such use is not so established, the Conditional Use Permit shall be deemed to have expired.

VARIANCE: Any variance involving an action which requires a building permit shall expire at the end of three years unless a building permit is obtained within the variance term.

SITE PLAN AND DESIGN REVIEW: Any site plan and design review shall expire at the end of three years unless a building permit is obtained within the site plan and design review term.

NOTE: Violation of any of the foregoing conditions will constitute grounds for revocation of this permit. Building permits are required in the event any building construction is planned. The County Assessor is notified of actions taken on rezoning, special permits and variances.

APPEALS

Appeals of the Planning and Design Commission decision of this item to the City Council must be filed at 300 Richards Boulevard, 3rd Floor, within 10 calendar days of this meeting, on or before Monday, October 8, 2018. If the 10th day falls on a Sunday or holiday, the appeal may be filed on the following business day.

FINDINGS OF FACT AND CONDITIONS OF APPROVAL
Q Street Commons (DR18-169)
6779 Q Street, Sacramento, CA

FINDINGS OF FACT

A&B. Mitigated Negative Declaration and Mitigation Monitoring Plan:

1. The Planning and Design Commission of the City of Sacramento finds as follows:

The Project initial study determined, based on substantial evidence, that the Project is an anticipated subsequent project identified and described in the 2035 General Plan Master EIR; that the Project is consistent with the 2035 General Plan land use designation and the permissible densities and intensities of use for the project site; that the discussions of cumulative impacts, growth inducing impacts, and irreversible significant effects in the Master EIR are adequate for the Project; and that the Project would have additional potentially significant environmental effects not previously examined in the Master EIR. Mitigation measures from the Master EIR were applied to the Project as appropriate, and revisions to the Project made by or agreed to by the Project applicant before the proposed mitigated negative declaration and initial study were released for public review were determined by City's Environmental Planning Services to avoid or reduce the potentially significant effects to a less than significant level, and, therefore, there was no substantial evidence that the Project as revised and conditioned may have a significant effect on the environment. A Mitigated Negative Declaration (MND) for the Project was then completed, noticed and circulated in accordance with the requirements of the California Environmental Quality Act (CEQA), the State CEQA Guidelines and the Sacramento Local Environmental Procedures as follows:

- a. On August 22, 2018 a Notice of Intent to Adopt the MND (NOI) dated August 17, 2018 was circulated for public comments for 20 days. The NOI was sent to those public agencies that have jurisdiction by law with respect to the proposed project and to other interested parties and agencies, including property owners within 500 feet of the boundaries of the proposed project. The comments of such persons and agencies were sought.
- b. On August 22, 2018 the NOI was published in the Sacramento Bulletin, a newspaper of general circulation, and the NOI was posted in the office of the Sacramento County Clerk.

2. The Planning and Design Commission has reviewed and considered the information contained in the MND, including the initial study, and conditions incorporated into the Project, and the comments received during the public review process and the hearing on the Project. The Planning and Design Commission has determined that the MND constitutes an adequate, accurate, objective and complete review of the environmental effects of the proposed project.
3. Based on its review of the MND and on the basis of the whole record, the Planning and Design Commission finds that the MND reflects the Planning and Design Commission's independent judgment and analysis and that there is no substantial evidence that the Project will have a significant effect on the environment.
4. The Planning and Design Commission adopts the MND for the Project.
5. Pursuant to CEQA section 21081.6 and CEQA Guidelines section 15074, and in support of its approval of the Project, the Planning and Design Commission adopts the Mitigation Monitoring Plan to require all reasonably feasible mitigation measures, including mitigation measures from the Master EIR as appropriate, be implemented by means of Project conditions, agreements, or other measures, as set forth in the Mitigation Monitoring Plan.
6. Upon approval of the Project, the City Manager shall file or cause to be filed a Notice of Determination with the Sacramento County Clerk and, if the project requires a discretionary approval from any state agency, with the State Office of Planning and Research, pursuant to section 21152(a) of the Public Resources Code and the State EIR Guidelines adopted pursuant thereto.
7. The documents and other materials that constitute the record of proceedings upon which the Planning and Design Commission has based its decision are located in the City of Sacramento Community Development Department, Environmental Planning Services, 300 Richards Boulevard, Sacramento, CA 95811-0218. The custodian of these documents and other materials is the Community Development Department, Environmental Planning Services.

C. The **Site Plan and Design Review** to construct a six-story residential mixed-use building at the northwest corner of Q and 69th Streets with ground-floor retail and 125 units on 1.27 acres in the Residential Mixed-Use zone and Transit Overlay zone (RMX-TO) with deviations for front and street-side setbacks, height, and open space is **approved** based on the following Findings of Fact:

1. The design, layout, and physical characteristics of the proposed development are consistent with the general plan and the 65th

Street/University Transit Village Plan, in that the project provides a mix of housing and retail to increase transit ridership and pedestrian activity in the neighborhood. The building height is consistent with the urban form vision for the General Plan designation of the Urban Center Low, the maximum floor area ratio, and the location near the university and light rail station.

2. The design, layout, and physical characteristics of the proposed development are consistent with the purpose and intent of the applicable design guidelines and development standards, in that the building engages the street frontage with active ground floor commercial uses and vehicle parking is accessed from the public alley within an enclosed parking structure which is appropriately screened from street view. The deviation for height (allowed increase) at this site will maintain a sensitive transition between single-unit dwellings and any other sensitive uses in the surrounding area meeting the purpose and intent of the standard. The reduction in building setback and stepback will not negatively impact public sidewalks, bike lanes, or tree canopy areas, which will benefit from the right of way dedication requirements. The combination of the outdoor and indoor open spaces is appropriate and consistent with the intent of providing adequate open space for multi-unit projects. The spaces are proposed to be well-programmed, provide a variety of desirable amenities, and will be equally accessible to all units within the building, consistent with the purpose and intent of the open space requirement. The telecommunication facility is consistent with established development standards as antenna (and related equipment) are integrated into the design of the building and will not be visible.
3. All streets and other public access ways and facilities, parking facilities, and utility infrastructure are adequate to serve the proposed development and comply with all applicable design guidelines and development standards, in that the project will dedicate additional public right-of-way along the frontage of the development to facilitate the construction of a new protected bicycle lane and pedestrian infrastructure as envisioned in the 65th Street/University Transit Village Plan. All other sidewalk and alley infrastructure will be repaired/replaced to meet City standards and appropriate utility infrastructure is available to service the site for the proposed project.
4. The design, layout, and physical characteristics of the proposed development are visually and functionally compatible with the surrounding neighborhood, in that the building incorporates a mix of building materials with articulated facades on all sides to help break up the overall massing, and the project provides needed housing within walking distance of a transit station and university.

5. The design, layout, and physical characteristics of the proposed development ensure energy consumption is minimized, along with direct and indirect use of renewable energy sources for the proposed project.
6. The design, layout, and physical characteristics of the proposed development are not detrimental to the public health, safety, convenience, or welfare of persons residing, working, visiting, or recreating in the surrounding neighborhood and will not result in the creation of a nuisance, in that adequate private and common outdoor open space has been provided for the apartments along with interior resident amenities, and on-site parking is provided to work in concert with enhanced bicycle and pedestrian amenities to encourage use of alternate modes of transportation. Active ground floor retail uses, the outdoor terrace, and abundant windows increase “eyes on the street” and contribute positively toward neighborhood safety.

CONDITIONS OF APPROVAL

- C.** The **Site Plan and Design Review** to construct a six-story residential mixed-use building at the northwest corner of Q and 69th Streets with ground-floor retail and 125 units on 1.27 acres in the Residential Mixed-Use zone and Transit Overlay zone (RMX-TO) with deviations for front and street-side setbacks, height, and open space is **approved** based on the following Conditions of Approval:

Planning

Site Design

- C1. The building shall be sited as shown on the exhibits and final approved plans.
- C2. The buildings shall have building setbacks and entries as shown on the exhibits and final approved plans.
- C3. The project shall have a landscape design as shown on the final approved plans.
- C4. Auto access and parking layout shall be as shown on the exhibits and final approved plans.
- C5. The applicant shall install four EV Chargers into the parking garage, as determined feasible. The feasibility of the chargers shall be determined by staff with input from the applicant.

- C6. The project shall provide vehicle and bicycle parking as indicated on the final approved plans and consistent with city code requirements. The design and location of the bicycle parking facilities for long-term and short-term parking shall be reviewed and approved by Planning Staff.
- C7. Each residential unit shall have a minimum of one bicycle wall rack. Residential units with three or more bedrooms shall provide a minimum of two bicycle wall racks.
- C8. The trash enclosures shall be located at the interior of the building as shown on the final approved plans.
- C9. No signage has been reviewed or approved through the Site Plan and Design Review process. All building signage shall conform to the sign code standards found in City Code section 15.148.125, and shall be reviewed under the separate sign permitting process.

Building Design

- C10. Building façades shall vary in material application and color as shown on the final approved plans.
- C11. Each building elevation shall have a consistency of detail, material quality, and articulation as indicated on the final approved plans.
- C12. The building materials, color, and their application shall be as indicated on the final approved plans and color/material board, and shall include metal panels of multiple types, metal grills, masonry block, and cement plaster. Any changes shall require additional Planning and Design Review staff review and approval.
- C13. All cement plaster used for exterior finishes shall be of a smooth finish.
- C14. Provide glazing as clear as possible at all ground-level fenestration and all exterior areas of the club and excursive rooms, or as approved by design staff.
- C15. The building base shall include planters and have a color consistent with the final approved plans.

- C16. The building shall include a minimum of 6,575 square feet of outdoor open space for all building residents as shown on the final approved plans.
- C17. The building shall include windows at the western and central stair towers as shown on the final approved plans.
- C18. The building shall not exceed an overall height of 83 feet as provided in the reports and exhibits.
- C19. Any site or rooftop mechanical equipment proposed shall be screened as necessary to fit in with the design of the project, and not be visible from any street views. Equipment such as new SMUD boxes, etc. shall be screened from pedestrian views, and not in the city planter strip or sidewalk. The applicant shall submit final mechanical locations and screening to Planning and Design Review staff for review and approval as part of building plan check.
- C20. The building shall comply with the vertical chase requirements for mixed use buildings, per Section 17.600.150 (A) of the Sacramento City Code.
- C21. The applicant shall work with staff on a design solution to minimize headlight impacts from the garage as seen from both the north and south elevations of the building. This review shall occur during building plan check.
- C22. Lighting:
 - a. The type and location of the outdoor and exterior lighting (buildings, parking areas, etc.) shall be approved by Planning and Design Review staff during building plan check. Lighting shall be provided at the ground-level on all sides of the building and at each building entry.
 - b. Per Section 17.612.030(B), exterior lighting shall reflect away from residential areas and public streets. Fixtures shall be unobtrusive and complementary to the architectural design of the building. Lighting shall be designed so as not to produce hazardous and annoying glare to motorists and building occupants, adjacent residents, or the general public.
 - c. The design of the light fixtures of the parking garages shall be reviewed and approved by Planning and Design Staff. Standard ceiling pack light fixtures visible from pedestrian sidewalk view shall be avoided.

General

- C23. The agreements executed between the operator and tenants shall include a notification that parking is not included as a part of the lease. Furthermore, the agreement shall state that there is limited parking available in the neighborhood adjacent to the facility.
- C24. The plans submitted for Building Permit for the telecommunication facility shall demonstrate compliance with City Code Subsection 17.228.300.D.2.
- C25. Development of this site shall be in compliance with the attached final approved plans and exhibits, except as otherwise conditioned. Any changes to the final set of plans shall be subject to additional review and approval.
- C26. The mixed-use project shall have an on-site manager per Section 17.228.117 of the Sacramento City Code.
- C27. Private, on-site security from a licensed security guard shall be provided Monday through Sunday between the hours of 6:00 PM to 6:00 AM.
- C28. A minimum of three (3) Community Assistants shall reside on the site as an added security measure.
- C29. A sign indicating a 24-hour emergency phone number and contact person shall be kept current and posted on the building in a clearly visible place as a Good Neighbor Policy.
- C30. No building permit shall be applied for until after the expiration of the 10-day appeal period, unless approved through a concurrent review. If an appeal is filed, no permit shall be issued until final approval is received.
- C31. The applicant shall obtain all necessary building, sign, and/or encroachment permits prior to construction.
- C32. Final occupancy shall be subject to approval and involve an on-site inspection by Planning Staff.
- C33. The approval shall be deemed automatically revoked unless required permits have been issued and construction begun within three years of the date of approval. Prior to expiration, an extension of time may be processed by request of the applicant.

Parks

C34. The applicant shall initiate and complete the formation of a parks maintenance district (assessment or Mello-Roos special tax district), or annex the project into an existing parks maintenance district. The applicant shall pay all city fees for formation of or annexation to a parks maintenance district. (Contact Planning Department, Special Districts, Project Manager. In assessment districts, the cost of neighborhood park maintenance is equitably spread on the basis of special benefit. In special tax districts, the cost of neighborhood park maintenance is spread based upon the hearing report, which specifies the tax rate and method of apportionment.)

Police

C35. Exterior lighting shall be white light using LED lamps with full cutoff fixtures to limit glare and light trespass. Color temperature shall be between 2700K and 4100K with a color rendering index of 75 or better and a light loss factor of 0.95 or better.

C36. Entry drives, drive aisles, parking and bicycle parking shall be illuminated to a maintained minimum of 1.5 foot candles per square foot of parking area at a 6:1 average to minimum ratio.

C37. Exterior walkways, alcoves and passageways shall be illuminated to a maintained minimum of 1/3 foot candles per square foot of surface area at a 6:1 average to minimum ratio.

C38. Exterior lighting distribution and fixtures shall be approved by the Sacramento Police Department CPTED Sergeant (or designee) prior to issuance of a building permit.

C39. Exterior lighting shall be designed in coordination with the landscaping plan to minimize interference between the light standards and required illumination and the landscape trees and required shading.

C40. Exterior lighting shall be shielded or otherwise designed to avoid spill-over illumination to adjacent streets and properties.

C41. All mature landscaping shall follow the two-foot, six-foot rule. All landscaping shall be ground cover, two feet or less and lower tree canopies

of mature trees shall be above six feet. This increases natural surveillance and eliminates hiding areas within the landscape.

- C42. Tree canopies shall not interfere with or block lighting. This creates shadows and areas of concealment. The landscaping plan shall allow for proper illumination and visibility regarding lighting and surveillance cameras through the maturity of trees and shrubs.
- C43. No more than 33 percent of the square footage of the windows and clear doors shall be blocked by advertising, signs, shelves or anything else. All advertising, signs, and shelving shall be placed and maintained in a manner that ensures that law enforcement personnel have a clear and unobstructed view of the interior of the premises, including the area in which the cash registers are maintained, from the exterior public sidewalk or entrance to the premises. All signs shall comply with the City Code.
- C44. Applicant shall install a "Knox Box" for police access to the common areas of the property after hours.

Public Works

- C45. Construct standard public improvements as noted in these conditions pursuant to Title 17 of the City Code. Improvements shall be designed to City Standards and assured as set forth in Section 17.502.130 of the City Code. All improvements shall be designed and constructed to the satisfaction of the Department of Public Works. Any public improvement not specifically noted in these conditions shall be designed and constructed to City Standards. This shall include the repair or replacement/reconstruction of any existing deteriorated curb, gutter and sidewalk adjacent to the subject property along Redding Avenue per City standards to the satisfaction of the Department of Public Works.
- C46. All new driveways shall be designed and constructed to City Standards to the satisfaction of the Department of Public Works. The applicant shall remove any unused existing driveways adjacent to Q Street and Redding Avenue and reconstruct the curb, gutter, planter, and sidewalk per City Standards to the satisfaction of the Department of Public Works.
- C47. The applicant shall dedicate sufficient right-of-way and construct Q Street as prescribed in the 65th Street Station Area Plan (Res. 2010-622) to the satisfaction of the Department of Public Works.

- C48. The applicant shall dedicate a 30-ft Irrevocable Offer of Dedication (I.O.D.) for additional right-of-way to accommodate the City's planned 68th Street Section between Q Street and Folsom Blvd per the 65th Street Area Plan (Res. 2010-622) to the satisfaction of the Department of Public Works. In the event that the planned electrical transformer within said I.O.D. needs to be relocated, the City of Sacramento shall be responsible for the cost of relocating the transformer as part of the future capital improvement project to construct 68th street. The City and the applicant will ensure that regardless of property ownership, a Public Utilities Easement will be provided to allow SMUD access to the electrical transformer for maintenance activities.
- C49. All right-of-way and street improvement transitions that result from changing the right-of-way of any street shall be located, designed and constructed to the satisfaction of the Department of Public Works. The center lines of such streets shall be aligned.
- C50. Prior to obtaining any building permits, the applicant shall have successfully abandoned any easements at the northeast corner of Redding Avenue and Q Street to the satisfaction of the Department of Public Works.
- C51. The site plan shall conform to A.D.A. requirements in all respects. This shall include the replacement of any curb ramp that does not meet current A.D.A. standards at the northeast corner of Q Street and Redding Avenue.
- C52. The site plan shall conform to the parking requirements set forth in City Code 17.608.040.
- C53. The applicant shall participate in the 65th Street Station Area Plan, Finance Plan and pay all appropriate fees to the satisfaction of the Department of Finance.
- C54. The design of walls fences and signage near intersections and driveways shall allow stopping sight distance per Caltrans standards and comply with City Code Section 12.28.010 (25' sight triangle). Walls shall be set back 3' behind the sight line needed for stopping sight distance to allow sufficient room for pilasters. Landscaping in the area required for adequate stopping sight distance shall be limited 3.5' in height at maturity. The area of exclusion shall be determined by the Department of Public Works.

Public Works – Electrical Division

- C55. The developer shall install ornamental street lights on Q Street. The number and locations of these lights will be determined when development plans are submitted for review.

Regional Sanitation

- C56. Developing this property will require the payment of Regional San sewer impact fees (connection fees). Regional San sewer impact fees shall be paid prior to the issuance of building permits. For questions pertaining to Regional San sewer impact fees, please contact the Sewer Fee Quote Desk at (916) 876-6100.

SMUD

- C57. SMUD has existing overhead 12kV and 69kV facilities along 69th Street, Q street and on the Project Site that will need to remain. The Applicant shall be responsible for maintaining all CalOSHA and State of California Public Utilities Commission General Order No. 95 safety clearances during construction and upon building completion. If the required clearances cannot be maintained, the Applicant shall be responsible for the cost of relocation.
- C58. The applicant shall provide twenty-four (24) hour, seven (7) day a week access to SMUD equipment. SMUD and the Developer shall coordinate to ensure SMUD access requirements are met.
- C59. Structural setbacks less than 14-feet shall require the Applicant to conduct a pre-engineering meeting with all utilities to ensure property clearances are maintained.
- C60. The Any necessary future SMUD facilities located on the Applicant's property shall require a dedicated SMUD easement. This will be determined prior to SMUD performing work on the Applicant's property.
- C61. In the event the Applicant requires the relocation or removal of existing SMUD facilities on or adjacent to the subject property, the Applicant shall coordinate with SMUD. The Applicant shall be responsible for the cost of relocation or removal.

- C62. SMUD reserves the right to use any portion of its easements on or adjacent to the subject property that it reasonably needs and shall not be responsible for any damages to the developed property within said easement that unreasonably interferes with those needs. There are two existing SMUD (adjacent to the southerly and easterly property lines) easements on the subject Parcel.
- C63. The Applicant shall not place any building foundations within five feet of any SMUD trench to maintain adequate trench integrity. The Applicant shall verify specific clearance requirements for other utilities (e.g., Gas, Telephone, etc.).
- C64. The Applicant shall comply with SMUD siting requirements (e.g., panel size/location, clearances from SMUD equipment, transformer location, service conductors). Information regarding SMUD siting requirements can be found at: <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services>
- C65. Additional transformer space may be required. This additional space will vary and the amount will depend on specific service requirements, including service size, voltage and other requirements. Furthermore, the location of this space will be site-dependent and could include subsurface (vaulted) or in-building space if pad-mounted and/or alcove space is unavailable or insufficient. Please reference “Electric Service in Downtown Sacramento”, <https://www.smud.org/en/Business-Solutions-and-Rebates/Design-and-Construction-Services/Downtown-Commercial>, for additional information on equipment spacing requirements.
- C66. The applicant shall dedicate a 30-foot Irrevocable Offer of Dedication (I.O.D.) for additional right-of-way to accommodate the City’s planned 68th Street Section between Q Street and Folsom Boulevard per the 65th Street Area Plan (Res. 2010-622) to the satisfaction of the Department of Public Works. In the event that the planned electrical transformer within said I.O.D. needs to be relocated, the City of Sacramento shall be responsible for the cost of relocating the transformer as part of the future capital improvement project to construct 68th Street. The City and the applicant will ensure that regardless of property ownership, a Public Utilities Easement will be provided to allow SMUD access to the electrical transformer for maintenance activities.

Utilities

- C67. Applicant shall participate in the 65th Street Area Finance Plan and pay all required fees. Improvement plans shall be consistent with the 65th Street Infrastructure and Utilities Plan that will provide for the ultimate development of the 65th Street Area.
- C68. Per City Code Section, 13.04.070, multiple water service to a single lot or parcel may be allowed if approved by the Department of Utilities (DOU) Development Review and Operations and Maintenance staff. Any new water services (other than fire) shall be metered. Excess services shall be abandoned to the satisfaction of the DOU. (Note: Taps to the City's 42-inch water transmission main in Q Street and 60-inch City water transmission main in 69th Street are not allowed.)
- C69. The proposed improvements along Q Street are currently encroaching over the City's water main. Per City Code 13.04.230, no permanent structure (including without limitation garages, patios, concrete slabs, tool shed and similar structures) shall be constructed on top of water pipelines. The property owner/developer shall relocate the City water main within the asphalt section of Q Street to the satisfaction of the DOU.
- C70. Prior to or concurrent with the submittal of improvement plans, prepare a project specific water study for review and approval by the DOU. The water distribution system shall be designed to satisfy the more critical of the two following conditions: (1) at maximum day peak hour demand, the operating or "residual" pressure at all water service connections shall be at least 30 pounds per square inch, (2) at average maximum day demand plus fire flow, the operating or "residual" pressure in the area of the fire shall not be less than 20 pounds per square inch. The water study shall determine if the existing and proposed water distribution system is adequate to supply fire flow demands for the project. A water supply test may be required for this project. The applicant is advised to contact the City of Sacramento Utilities Department Water Planning Section (916-808-1400) at the early planning stages to address any water related requirements.
- C71. Common landscaping areas greater than 5,000 square feet shall have a separate street tap for a metered irrigation service.
- C72. This project is served by the Combined Sewer System (CSS). Therefore, the developer/property owner may be required to pay the Combined Sewer

System Development Fee prior to the issuance of building permit. The fee will be used for improvements to the CSS. The applicant is recommended to contact the Department of Utilities Development Services at 916-808-1400 for a CSS fee estimate.

- C73. Projects that generates 25 ESD's or more will require a sanitary sewer Plan Study as described in Section 9 of the City Design and Procedures Manual. This study and shed map shall be approved by the DOU. The applicant is advised to contact the City of Sacramento Utilities Department Sewer Planning Section (916-808-1400) at the early planning stages to address any sewer related requirements.
- C74. The proposed development is not contiguous to an existing public sewer main. The property owner/developer shall construct off-site sewer main extensions as determined by the DOU. The proposed development shall enter into an agreement with the City for the proposed improvements to the sewer main located in Folsom Blvd from 65th Street to 69th Street. (Note: The proposed sewer improvements per this agreement are being constructed as part of Public Works current project for improvements along Folsom Boulevard)
- C75. If the development of the site increases imperviousness, the development of the site will be required to comply with the current drainage design standards and prepare a project specific drainage study. To meet this requirement 8,200 cubic feet of detention must be provided per each additional acre of impervious area. The maximum discharge rate must be limited to 0.16 cfs/acre. The required detention volume can be partially or fully mitigated by implementing Low Impact Development (LID) features such as Stormwater planters and porous pavement, provided these features conform to the DOU's Hydromodification Management Plan (HMP) requirements. Designer shall utilize the latest edition of the Sacramento Area Hydrology Model (SAHM) when using LID features. The applicant is advised to contact the City of Sacramento Utilities Department Drainage Planning Section (916-808-1400) at the early planning stages to address any drainage related requirements. (Note: A maintenance agreement may be required for detention and Low Impact Development (LID) features.)
- C76. The onsite water, sewer, and storm drain systems shall be private systems maintained by the owner or other approved entity. Onsite sewer and drainage facilities shall be separated systems.

- C77. All on-site drainage systems shall be designed to the standards specified in the DOU onsite manual.
- C78. Finished floor elevations shall be a minimum of six-inches above the 100-year HGL or 1-foot above the overland flow release elevation, whichever is higher or as approved by the DOU.
- C79. The lot shall be graded so that drainage does not cross property lines or private drainage easements shall be dedicated.
- C80. A grading plan showing existing and proposed elevations is required. Adjacent off-site topography shall also be shown to the extent necessary to determine impacts to existing surface drainage paths. No grading shall occur until the grading plan has been reviewed and approved by the DOU.
- C81. This project will disturb more than one acre of land; therefore, the project is required to comply with the State's "Construction General Permit". To comply with the State Permit, the applicant must file a Notice of Intent (NOI) through the State's Storm Water Multiple Application and Report Tracking System (SMARTS). A valid WDID number must be obtained and provided to the DOU prior to the issuance of any grading permits.
- C82. The applicant must comply with the City of Sacramento's Grading, Erosion and Sediment Control Ordinance. This ordinance requires the applicant to show erosion and sediment control methods on the construction drawings. These plans shall also show the methods to control urban runoff pollution from the project site during construction.
- C83. The project is over one-acre and not served by an existing regional water quality control facility, therefore both source control and on-site treatment control measures are required. The on-site storm water treatment control measures required may affect site design and site configuration and should be considered during early planning stages.
- C84. A maintenance agreement is required for all on-site treatment control measures. Contact DOU for a list of accepted proprietary devices if considered for treatment control. Construction drawings must include the source controls and on-site treatment control measures selected for the site.

Refer to the latest edition of the “Stormwater Quality Design Manual for the Sacramento and South Placer Regions” for appropriate measures.

ADVISORY NOTES

Planning

ADV1 Filtration should be certified by the American Society of Heating, Refrigerating and Air-Conditioning Engineers (ASH RAE), and equivalent to or greater than that provided by MERV 13 filters (as defined by ASHRAE standard 52.2). Enhanced filtration should be provided to all units in the building. A licensed mechanical engineer, or an individual authorized by California Business and Professions Code Sections 6700-6799 to design mechanical ventilation systems, should be consulted. Building permit documents should incorporate all designs and details necessary for the construction of the enhanced ventilation system. The ventilation systems installed should be properly maintained as specified by the manufacturer. A fixed notice should be placed on the filter compartment door of each ventilation unit advising that MERV 13 (or greater), or equivalent filters should be used.

Fire

ADV2 Timing and Installation. When fire protection, including fire apparatus access roads and water supplies for fire protection, is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction. CFC 501.4

ADV3 The furthest projection of the exterior wall of a building shall be accessible from within 150 feet of an approved Fire Department access road (minimum 20 feet wide) and 400 feet of an approved water supply as measured by an unobstructed route around the exterior of the building. (CFC 503.1.1, 507.5.1) Note: if any pre-construction agreements have been made or alternative means of design criteria established, provide written confirmation with plan submittal for construction document review.

ADV4 Dead ends exceeding 150 feet in length require an approved Fire Department turnaround (45-foot radius cul-de-sac or city standard hammerhead). CFC 503.2.5 Note: if any pre-construction agreements have been made or alternative means of design criteria established,

provide written confirmation with plan submittal for construction document review.

- ADV5 Roads used for Fire Department access shall have an unobstructed width of not less than 20 feet and unobstructed vertical clearance of 13'6" or more. CFC 503.2.1
- ADV6 Roads used for Fire Department access that are less than 28 feet in width shall be marked "No Parking Fire Lane" on both sides; roads less than 36 feet in width shall be marked on one side.
- ADV7 All turning radii for fire access shall be designed as 35 feet inside and 55 feet outside. CFC 503.2.4
- ADV8 Fire Apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities. CFC 503.2.3
- ADV9 Provide a water flow test. (Make arrangements at the Permit Center walk-in counter: 300 Richards Blvd, Sacramento, CA 95814). CFC 507.4
- ADV10 Provide a water flow test. (Make arrangements at the Permit Center walk-in counter: 300 Richards Blvd, Sacramento, CA 95814). CFC 507.4
- ADV11 Provide the required fire hydrants in accordance with CFC 507 and Appendix C, Section C102.

Note: Appendix C, Table C102.1 has been amended by the City of Sacramento so that the required number of hydrants is based on the required GPM of Table B105.1 before any allowed fire sprinkler reduction with modified spacing distances between hydrants.

- ADV12 Provide appropriate "Knox Box" access for site. CFC Section 506
- ADV13 An automatic fire sprinkler system shall be installed in any portion of a building when the floor area of the building exceeds 3,599 square feet or a change of use or occupancy that creates a greater fire or life safety hazard, and the floor area of that portion of the building, which is changed exceeds 3,599 square feet in area. CFC Fire Code Amendments 903.2 (2&4)

- ADV14 Locate and identify Fire Department Connections (FDCs) on address side of building no further than 50 feet and no closer than 15 feet from a fire hydrant and not more than 30 feet from a paved roadway.
- ADV15 An approved fire control room shall be provided for all buildings protected by an automatic fire extinguishing system. The room shall contain all system control valves, fire alarm control panels and other fire equipment required by the Fire Code Official. Fire Control rooms shall be located within the building at a location approved by the Fire Code Official, and shall be provided with a means to access the room directly from the exterior. Durable signage shall be provided on the exterior side of the access door to identify the fire control room. Fire Control rooms shall not be less than 50 square feet for rooms without a fire pump and 200 square feet when a fire pump is present. CFC Amendments 901.4.7
- ADV16 Emergency Responder Radio Coverage may be required. Testing shall be conducted by an authorized technician to verify compliance with section 510, CFC. This test shall verify that building will support the Sacramento City Fire Department Radio Communication System. This test shall be performed once all computers, electronics and/or wireless systems and etc. have been installed
- ADV17 Minimum gate width shall provide 20 feet clear access. Gate shall have AC power and be provided with Key override switch (Knox) and Radio operated controller (Click2Enter). For gates that do not fail safe in the open position upon loss of AC power or are provided with battery back-up power, an approved pedestrian gate shall be installed within 10 feet of all vehicle gates. An approved key box (Knox) shall be installed at least 48 inches above grade on the outside of the gate. It shall be provided with a key to open the pedestrian gate.

Finance

- ADV18 This project is located within the 65th Street Area Fee District and, depending on the credit given for the existing use, will be required to pay the fee prior to building permit.

Parks

ADV19 Title 18, 18.56 Park Development Impact Fee, due at the time of issuance of building permit. The Park Development Impact Fee due for this project is estimated at \$377,476. This project proposes a total of 125 Residential Units, with 20 units under 750 square feet and the remaining units totaling 133,026 square feet. The PIF due on this project is based on the Remainder City Rate of \$2.55 per square foot for residential projects, with a minimum rate of \$1,913 for units under 750 square feet. Any change in these factors will change the amount of the PIF due. The fee is calculated using factors at the time that the project is submitted for building permit.

ADV20 Community Facilities District 2002-02, Neighborhood Park Maintenance CFD Annexation.

Regional Sanitation

ADV21 The City of Sacramento (City) is responsible for providing local sewer service to the proposed project site via their local sanitary sewer collection system. Regional San is responsible for the conveyance of wastewater from the City's collection system to the Sacramento Regional Wastewater Treatment Plant (SRWTP).

Utilities

ADV22 Beginning July 1, 2018 Low Impact Development (LID) strategy for site design and utilization of LID practices (i.e. stormwater planters) for stormwater treatment will be required. The applicant can obtain LID runoff reduction credits following the guidance in the Stormwater Quality Design Manual. LID runoff reduction will reduce the required treatment volume which could potentially reduce the surface area requirements for the stormwater treatment measures. A private maintenance agreement may be required. Contact City of Sacramento Utilities Department Stormwater Program (808-1449) if you have additional questions.

ADV23 Beginning January 1, 2018 all new multi-family residential construction will require sub-metering of each residential unit pursuant to all requirements found in California Senate Bill 7 (SB7). These requirements at a minimum include installing sub meters, billing for water based on the sub meters, and long-term calibration and maintenance of the sub meter. The SB7 requirements are the responsibility of the property owner.

ADV24 The proposed project is located in a Zone X on the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Maps (FIRMs). Accordingly, the project site lies in an area with no requirements to elevate or flood proof.

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Exhibit A: Mitigation Monitoring Plan

Exhibit B: Project Plans

Q STREET COMMONS

Mitigation Monitoring Plan

Introduction

Public Resources Code section 21081.6 and section 15097 of the California Environmental Quality Act (CEQA) Guidelines require public agencies to establish monitoring or reporting programs for projects approved by a public agency whenever approval involves the adoption of either a mitigated negative declaration or specified environmental findings related to environmental impact reports.

The following is the Mitigation Monitoring Plan (MMP) for the Q Street Commons project. The intent of the MMPs is to track and successfully implement the mitigation measures identified within the Q Street Commons Initial Study/Mitigated Negative Declaration prepared for the Q Street Commons project.

Mitigation Measures

The mitigation measures are taken from the Q Street Commons Initial Study/Mitigated Negative Declaration (IS/MND) prepared for the Q Street Commons project and are assigned the same number as in those documents. The MMP describes the actions that must take place to implement each mitigation measure, the timing of those actions, and the entities responsible for implementing and monitoring the actions.

MMP Components

The components of the attached table, which contains applicable mitigation measures, are addressed briefly, below.

Impact: This column summarizes the impact stated in the Q Street Commons IS/MND prepared for the Q Street Commons project.

Mitigation Measure: All mitigation measures identified in the Q Street Commons IS/MND are presented and numbered accordingly.

Action(s): For every mitigation measure, one or more actions are described. The actions delineate the means by which the mitigation measures will be implemented, and, in some instances, the criteria for determining whether a measure has been successfully implemented. Where mitigation measures are particularly detailed, the action may refer back to the measure.

Implementing Party: This item identifies the entity that will undertake the required action.

Timing: Implementation of the action must occur prior to or during some part of project approval, project design or construction or on an ongoing basis. The timing for each measure is identified.

Monitoring Party: The City of Sacramento is primarily responsible for ensuring that mitigation measures are successfully implemented. Within the City, a number of departments and divisions would have responsibility for monitoring some aspect of the overall project. Other agencies, such as the Sacramento Metropolitan Air Quality Management District, may also be responsible for monitoring the implementation of mitigation measures. As a result, more than one monitoring party may be identified.

MITIGATION MONITORING PLAN TABLE

Impact	Mitigation Measure	Applicability to the Proposed Project	Action(s)	Implementing Party	Timing	Monitoring Party
2. Air Quality						
2-A) [Would the project] result in construction emissions of NO _x above 85 pounds per day?	Mitigation Measure 2-1 <i>The applicant shall implement the following SMAQMD Basic Construction Emission Control Practices prior to and/or during all onsite demolition and construction activities:</i> <ul style="list-style-type: none"> • <i>Water all exposed surfaces two times daily. Exposed surfaces include, but are not limited to soil piles, graded areas, unpaved parking areas, staging areas, and access roads.</i> • <i>Cover or maintain at least two feet of free board space on haul trucks transporting soil, sand, or other loose material on the site. Any haul trucks that would be traveling along freeways or major roadways should be covered.</i> • <i>Use wet power vacuum street sweepers to remove any visible track-out mud or dirt onto adjacent public roads at least once a day. Use of dry power sweeping is prohibited.</i> • <i>Limit vehicle speeds on unpaved roads to 15 miles per hour (mph).</i> • <i>All roadways, driveways, sidewalks, parking lots to be paved should be completed as soon as possible. In addition, building pads should be laid as soon as possible after grading unless seeding or soil binders are used.</i> • <i>Minimize idling time either by shutting equipment off when not in use or reducing the time of idling to 5 minutes [required by California Code of Regulations, Title 13, sections 2449(d)(3) and 2485]. Provide clear signage that posts this requirement for workers at the entrances to the site.</i> • <i>Maintain all construction equipment in proper working condition according to manufacturer's specifications. The equipment must be checked by a certified mechanic and determine to be running in proper condition before it is operated.</i> 	Applicable	Implement the SMAQMD Basic Construction Emission Control Practices outlined in Mitigation Measure 2-1	Project contractor	Prior to and/or during all onsite demolition and construction activities	City of Sacramento Community Development Department, Sacramento Metropolitan Air Quality Management District (SMAQMD)
2-C)	Implement Mitigation Measure 2-1 (above).	Applicable	Implement the SMAQMD Basic	Project contractor	Prior to and/or during all onsite	City of Sacramento

Impact	Mitigation Measure	Applicability to the Proposed Project	Action(s)	Implementing Party	Timing	Monitoring Party
[Would the project] violate any air quality standard or contribute substantially to an existing or projected air quality violation?			Construction Emission Control Practices outlined in Mitigation Measure 2-1		demolition and construction activities	Community Development Department, Sacramento Metropolitan Air Quality Management District (SMAQMD)
2-D) [Would the project] result in PM ₁₀ concentrations equal to or greater than five percent of the State ambient air quality standard (i.e., 50 micrograms/cubic meter for 24 hours) in areas where there is evidence of existing or projected violations of this standard?	<i>Implement Mitigation Measure 2-1 (above).</i>	Applicable	Implement the SMAQMD Basic Construction Emission Control Practices outlined in Mitigation Measure 2-1	Project contractor	Prior to and/or during all onsite demolition and construction activities	City of Sacramento Community Development Department, Sacramento Metropolitan Air Quality Management District (SMAQMD)
3. Biological Resources						
3-B) [Would the project] result in substantial degradation of the quality of the environment, reduction of the habitat, reduction of population below self-sustaining levels of threatened or endangered species of plant or animal species?	Mitigation Measure 3-1 <i>If construction (including equipment staging and tree removal) will occur during the breeding season for migratory birds and raptors (between February 1 and August 31) and for Swainson's hawk (between March 1 and September 15), the applicant/developer shall retain a qualified biologist to conduct a preconstruction nesting bird and raptor survey before the onset of construction activities. The preconstruction nesting bird and raptor surveys shall be conducted within 14 days prior to commencement of construction activities between February 1 and September 15 (to encompass the nesting season for all birds and raptors including Swainson's hawk). Surveys for raptors nests shall extend 500 feet from the project site. Surveys for Swainson's hawk shall extend 0.25 miles from the project site. A report shall be prepared and submitted to the City following the preconstruction survey to document the results. If no active nests are detected during the preconstruction</i>	Applicable	Conduct a preconstruction nesting bird survey prior to the onset of construction activities. If migratory birds or raptors are found to be nesting in or adjacent to the project site, establish no-disturbance buffers according to the protocols prescribed in Mitigation Measure 3-1.	City of Sacramento Community Development Department, project contractor	Within 14 days prior to the commencement of construction activities occurring between March 1 and September 15.	City of Sacramento Community Development Department

Impact	Mitigation Measure	Applicability to the Proposed Project	Action(s)	Implementing Party	Timing	Monitoring Party
	<p>survey, no additional mitigation is required so long as construction commences within 14 days of the preconstruction survey.</p> <p>If migratory birds or raptors are found to be nesting in or adjacent to the project site, a 250-foot no-disturbance buffer shall be established around raptor nests including active Swainson's hawk nests and a 50-foot buffer around non-raptor nests to avoid disturbance of the nest area and to avoid take. The buffer shall be maintained around the nest area until the end of the breeding season or until a qualified biologist determines that the young have fledged and are foraging on their own, unless the biologist determines that a reduced buffer is acceptable. The extent of these reduced buffers shall depend on the species identified, level of noise or construction disturbance, line of sight between the nest and the disturbance, ambient levels of noise and other disturbances, and other topographical or artificial barriers.</p>					
4. Cultural Resources						
<p>4-A) [Would the project] cause a substantial adverse change in the significance of a historical or archaeological resource as defined in § 15064.5?</p>	<p>Mitigation Measure 4-1: Accidental Discovery</p> <p>If prehistoric or historic-period archaeological resources are encountered during construction, all ground disturbing activities shall halt within the project property up to 100 feet from the location of the discovery and the City shall be notified. Prehistoric archaeological materials include, for example, obsidian and chert flaked-stone tools (e.g., projectile points, knives, scrapers) or toolmaking debris; culturally darkened soil (midden) containing heat-affected rocks, artifacts, or shellfish remains; and stone milling equipment (e.g., mortars, pestles, handstones, or milling slabs); and battered stone tools, such as hammerstones and pitted stones. Any tribal cultural resources discovered during project work shall be immediately disclosed to the City and treated in consultation with the affiliated Native American tribal representatives, with the goal of preserving in place with proper treatment. Historic-period materials may include stone, concrete, or adobe footings and walls; filled wells or privies; and deposits of metal, glass, and/or ceramic refuse. A qualified archaeologist, defined as one meeting the Secretary of the Interior's Professional Qualifications Standards for Archaeology, shall inspect the findings within 24 hours of discovery. If the City determines that</p>	Applicable	Halt ground disturbing activities if resources are discovered during construction, notify the City, and consult with the affiliated Native American tribal representatives according to the protocols outlined in Mitigation Measure 4-1	City of Sacramento Community Development Department, project contractor	During ground-disturbing activities throughout project implementation	City of Sacramento Community Development Department

Impact	Mitigation Measure	Applicability to the Proposed Project	Action(s)	Implementing Party	Timing	Monitoring Party
	<p><i>an archaeological resource qualifies as a historical resource, unique archaeological resource, or tribal cultural resource (as defined pursuant to CEQA Guidelines) and that the project has potential to damage or destroy the resource, the following shall be implemented:</i></p> <p>1) <i>If the resource has an association with Native Americans, the City shall consult with appropriate Native American Tribal Representatives and a qualified archaeologist to determine the culturally appropriate course of action. If preservation in place is feasible, this may be accomplished through one of the following means: (1) modifying the construction plan to avoid the resource; (2) incorporating the resource within open space; (3) capping and covering the resource before building appropriate facilities on the resource site; or (4) deeding resource site into a permanent conservation easement. Consultation between the City, Native American Tribal Representatives, and a qualified archaeologist may result in alternative means of preservation for archaeological resources and/or tribal cultural resources associated with Native Americans.</i></p> <p>2) <i>If the resource does not have an association with Native Americans, mitigation shall be implemented in accordance with PRC Section 21083.2 and CEQA Guidelines Section 15126.4. Consistent with CEQA Guidelines Section 15126.4(b)(3), mitigation shall be accomplished through either preservation in place or, if preservation in place is not feasible, data recovery through excavation. If preservation in place is feasible, this may be accomplished through one of the following means: (1) modifying the construction plan to avoid the resource; (2) incorporating the resource within the open space; (3) capping</i></p>					

Impact	Mitigation Measure	Applicability to the Proposed Project	Action(s)	Implementing Party	Timing	Monitoring Party
	<p>and covering the resource before building appropriate facilities on the resource site; or (4) deeding resource site into a permanent conservation easement. If avoidance or preservation in place is not feasible, a qualified archaeologist shall prepare and implement a detailed treatment plan to recover the scientifically consequential information from and about the resource, which shall be reviewed and approved by the City prior to any excavation at the resource site. Treatment of unique archaeological resources shall follow the applicable requirements of PRC Section 21083.2. Treatment for most resources would consist of (but would not be limited to) sample excavation, artifact collection, site documentation, and historical research, with the aim to target the recovery of important scientific data contained in the portion(s) of the significant resources to be impacted by the Project. The treatment plan shall include provisions for analysis of data in a regional context, reporting of results within a timely manner, curation of artifacts and data at an approved facility, and dissemination of reports to local and state repositories, libraries and interested professionals.</p>					
	<p>3) In the event of discovery or recognition of any human remains during project implementation, project construction activities within 100 feet of the find shall cease until the Sacramento County Coroner has been contacted to determine that no investigation of the cause of death is required. The City shall comply with requirements identified by the NAHC for the appropriate means of treating the human remains and any associated funerary objects (CEQA Guidelines Section 15064.5[d]).</p>					
<p>4-B) [Would the project] directly or indirectly destroy a unique paleontological resource?</p>	<p>Implement Mitigation Measure 4-1 (above).</p>	<p>Applicable</p>	<p>Halt ground disturbing activities if resources are discovered during construction,</p>	<p>City of Sacramento Community Development Department,</p>	<p>During ground-disturbing activities throughout project implementation</p>	<p>City of Sacramento Community Development Department</p>

Impact	Mitigation Measure	Applicability to the Proposed Project	Action(s)	Implementing Party	Timing	Monitoring Party
			notify the City, and consult with the affiliated Native American tribal representatives according to the protocols outlined in Mitigation Measure 4-1	project contractor		
4-C) [Would the project] adversely affect tribal cultural resources?	<i>Implement Mitigation Measure 4-1 (above).</i>	Applicable	Halt ground disturbing activities if resources are discovered during construction, notify the City, and consult with the affiliated Native American tribal representatives according to the protocols outlined in Mitigation Measure 4-1	City of Sacramento Community Development Department, project contractor	During ground-disturbing activities throughout project implementation	City of Sacramento Community Development Department
5. Geology and Soils						
5-A) Would the project allow a project to be built that will either introduce geologic or seismic hazards by allowing the construction of the project on a site without protection against those hazards?	Mitigation Measure 5-1: Geotechnical Investigation <i>Prior to issuance of a building permit, the project applicant shall conduct a geotechnical investigation of the project site to determine the potential for ground rupture, earth shaking, and liquefaction due to seismic events, as well as expansive soils problems. As required by the City, recommendations identified in the geotechnical report for the proposed development shall be implemented.</i>	Applicable	Conduct a geotechnical investigation of the project site and implement recommendations identified in the geotechnical report	City of Sacramento Community Development Department, project contractor	Prior the issuance of a building permit	City of Sacramento Community Development Department

Q st. Commons

6779 Q Street
Sacramento CA

DEVELOPER

Sacramento Q Street, LLC
12424 Wilshire Boulevard #650
Los Angeles, CA 90025
310.504.2902

Contact:
Dan Weinstein

DESIGN ARCHITECT

MEEKS ■ PARTNERS

Meeks + Partners
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Houston, TX 77079
281.558.8787

Contact:
Ryan Meeks

ARCHITECT OF RECORD

ELLIS ARCHITECTS

Ellis Architects
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916.440.6765

Contact:
Vince Maloney

CIVIL/LANDSCAPE



Cunningham Engineering Corp
2120 20th Street
Sacramento, CA 95818
916.455.2026

Contact:
Katie Hanten(Civil)

Berkeley Keller(Landscape)

Q ST. COMMONS													2018 08 28
UNITS					LEVELS								
NAME	BEDS	BEDROOM	BATHROOMS	NET SF	LVL 01	LVL 02	LVL 03	LVL 04	LVL 05	LVL 06	TOTAL UNITS	% UNITS	TOTAL BEDS
ST1	1	0	1	452	0	1	1	1	1	1	5	20	5
ST1B	1	0	1	452	0	1	1	1	1	1	5		5
ST2	1	0	1	345	0	2	2	2	2	2	10	16.00%	10
B1	2	2	2	869	0	1	1	1	1	1	5	15	10
B2	2	2	2	985	0	1	1	1	1	1	5	12.00%	10
B3	2	2	2	885	0	1	1	1	1	1	5		10
D1	4	4	4	1223	0	8	10	10	10	10	48	76	192
D1B	4	4	4	1254	0	2	3	3	3	3	14	60.80%	56
D2	4	4	4	1480	0	1	1	1	1	1	5		20
D3	4	4	4	1587	0	1	1	1	1	1	5		20
D4	4	4	4	1347	0	0	1	1	1	1	4		16
E1	5	4	4	1519	0	1	1	1	1	1	5	14	25
E3	5	4	4	1650	0	0	1	1	1	1	4	11.20%	20
E4	5	4	4	1519	0	1	1	1	1	1	5		25
					0	21	26	26	26	26	125	100.00%	424

PARKING REQUIREMENTS

CITY OF SACRAMENTO PARKING REQUIREMENTS (.5 SPOTS/UNIT)

125 UNITS*.5 = 63 SPACES REQUIRED

103 SPACES PROVIDED

PARKING			
TYPE	COUNT	SF/SPOT	TOTAL SF
REGULAR	54	153	8262
COMPACT(8.5'X15')	0	120	0
COMPACT(8'X15')	31	127	3937
TANDEM	13	306	3978
ACCESSIBLE VAN	1	198	198
ACCESSIBLE	4	144	576
TOTAL	103		16951

TOTAL SF OF PARKING STALLS AND DRIVE	28,025 SF
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BIKE PARKING REQUIREMENTS

CITY OF SACRAMENTO BIKE PARKING REQUIREMENTS

SHORT TERM PARKING (1 SPACE/ 10 UNITS)

SHORT TERM BIKE PARKING REQUIRED - 13 SPACES (125 UNITS * .1 SPACE/UNIT)

14 SPACES PROVIDED

LONG TERM BIKE PARKING REQUIRED - 63 SPACES (125 UNITS*.5 SPACE/UNIT)

64 SPACES PROVIDED

COMMON AMENITY SPACES

RETAIL
1636

AMENITY SPACE	
LVL 01 - LEASING	1408
LVL 01 - STUDY LNG	1290
LVL 01 - LOBBY.MAIL	1198
LVL 01 - BIKE STORAGE	907
LVL 02 - CLUB	2012
LVL 02 - EXERCISE	1709
TOTAL	8524

UTILITY FUNCTION SF	
LVL 01 - METER RM	470
LVL 01 - TRNSFR APT	960
LVL 01 - PUMP RM	126
LVL 01 - RES TRASH	397
LVL 01 - POOL EQUIP	111
LVL 01 - RETAIL TRSH	185
TOTAL	1779

PROJECT SUMMARY

Description: 125 apartment units in 5 stories over 1 level of parking separated by podium

Address: 6779 Q. Street
Sacramento, CA 95819

Community: City of Sacramento
County: Sacramento
Jurisdiction: City of Sacramento

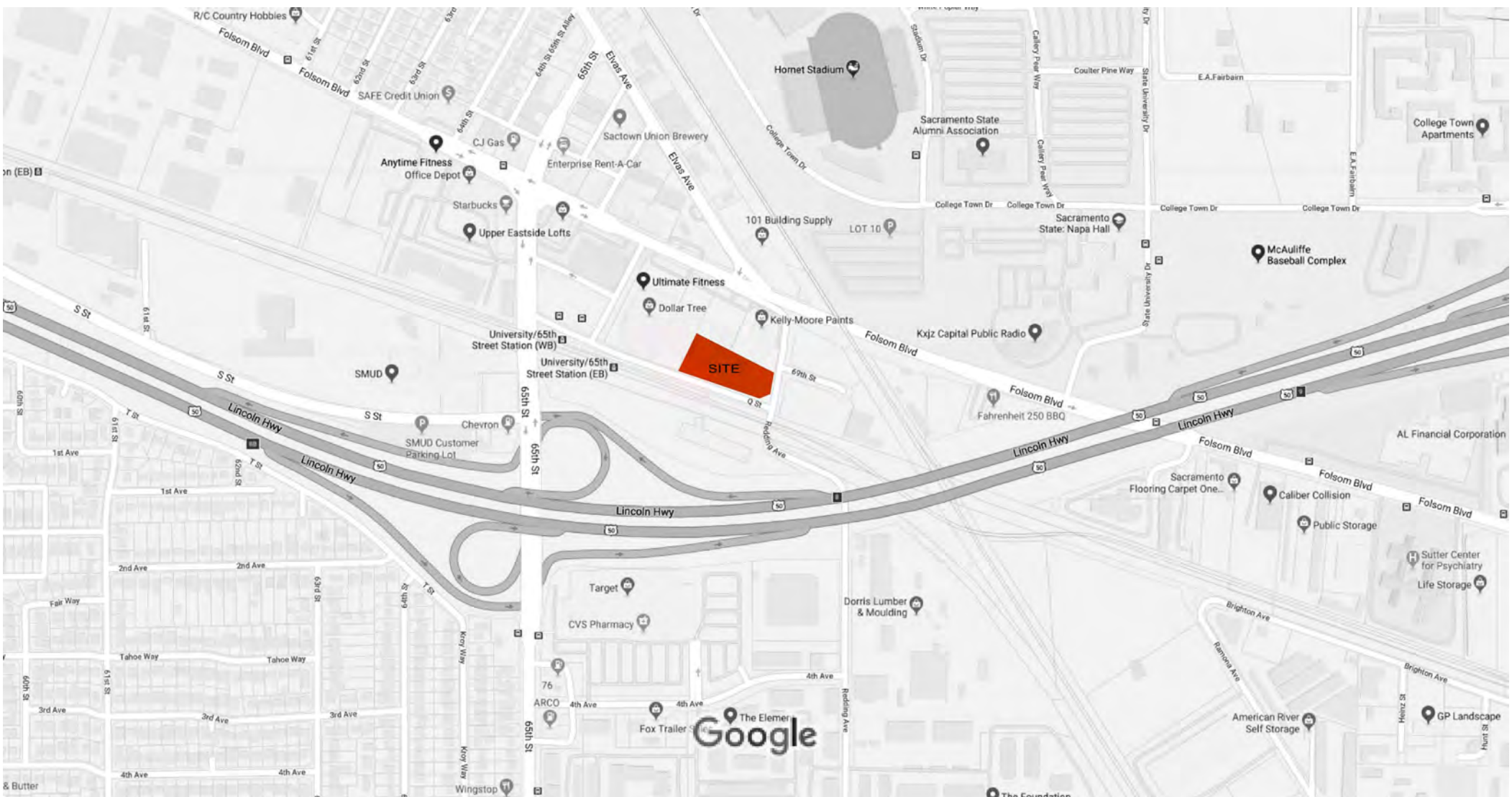
Assessors Parcel Number: #015-0010-043-0000

Sprinkler: NFPA 13

Construction Type: Level 1: Type 1A
Level 2-6: Type 3A

Occupancy Group: Level 1: S-2(Parking), B (Leasing Center), A-3 (Amenity), A-2/B/M (Retail)
Level 2-6: R-2 (Residential Apartment Units)

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A1.01	Project Location
A1.02	Project Site Photographs
A1.03	Project Site Photographs
D1.00	Site Demo
C1	Site Paving Plan
C2	Site Grading Plan
C3	Site Utility Plan
C4	Preliminary Plan Line
L1	Landscape Plan
A1.04	Site Plan
A3.00	Bldg Lvl 01
A3.01	Bldg Lvl 02
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A4.00	Exterior Elevations
A4.01	Bldg Section
A9.00	Renderings
A9.01	Renderings
A9.02	Renderings
A9.03	Renderings
A9.04	Materials



VICINITY MAP

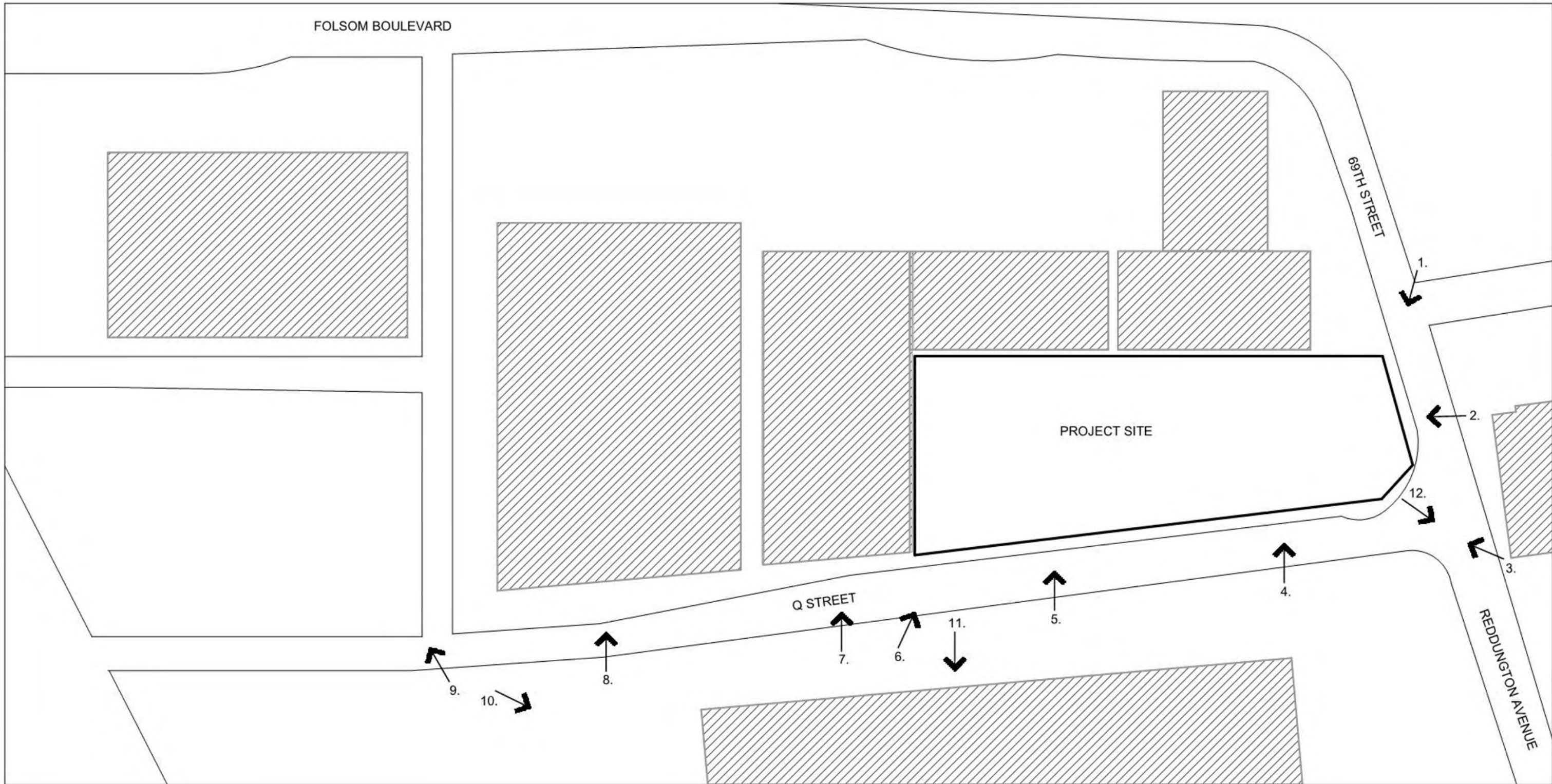
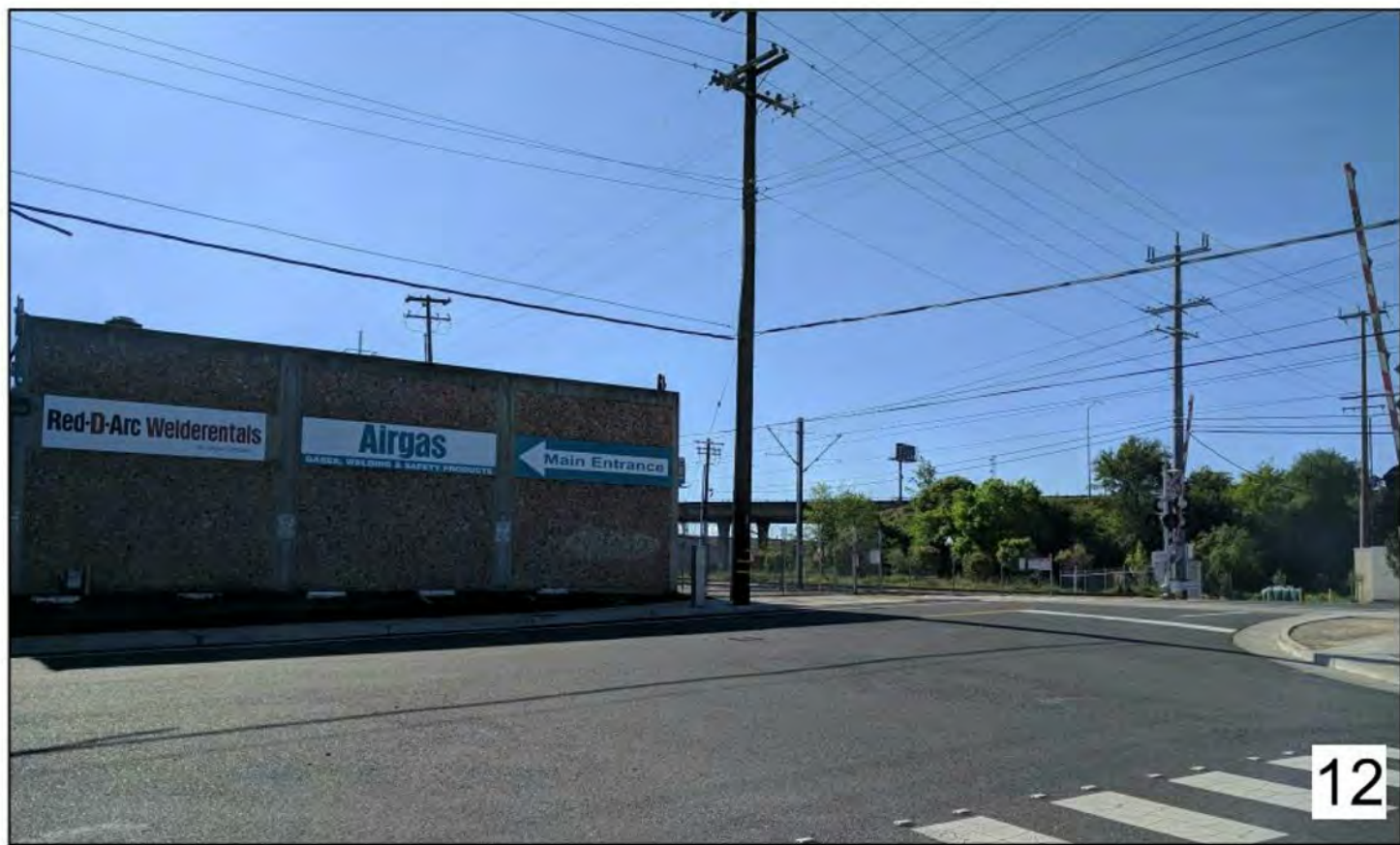
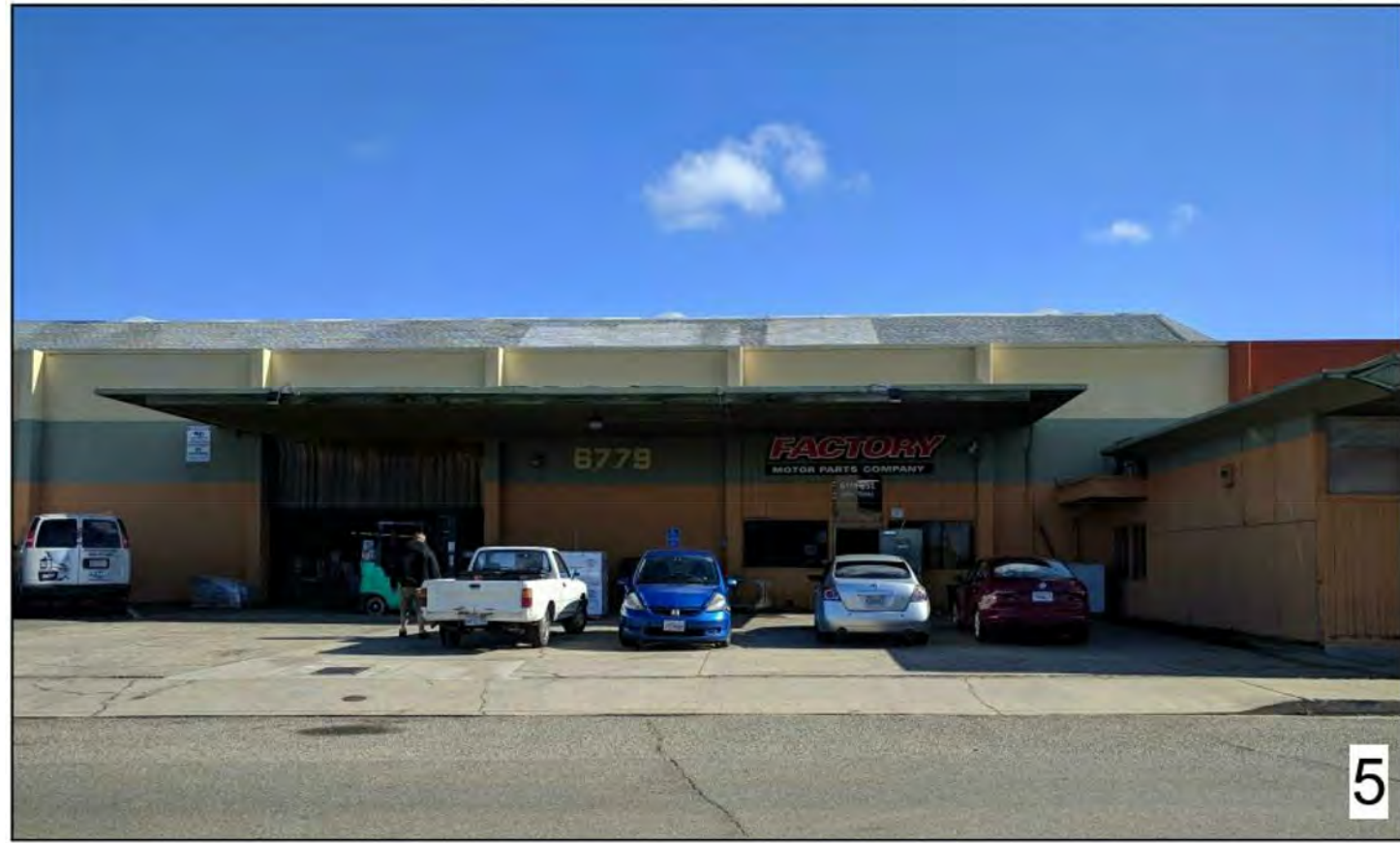


AERIAL SITE MAP



Project Location - Q St. Commons
Sacramento Q Street, LLC

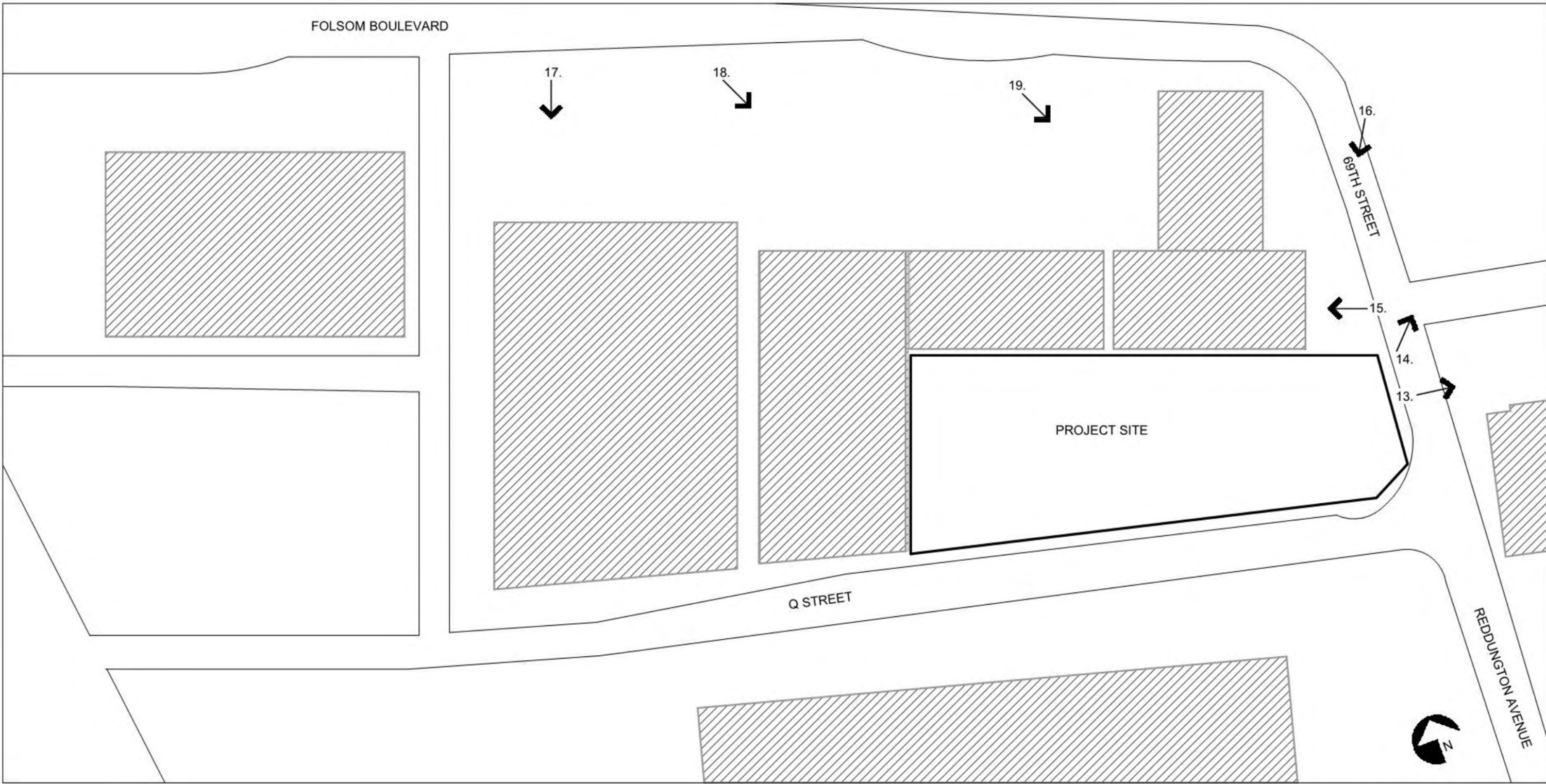
MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281.558.8787



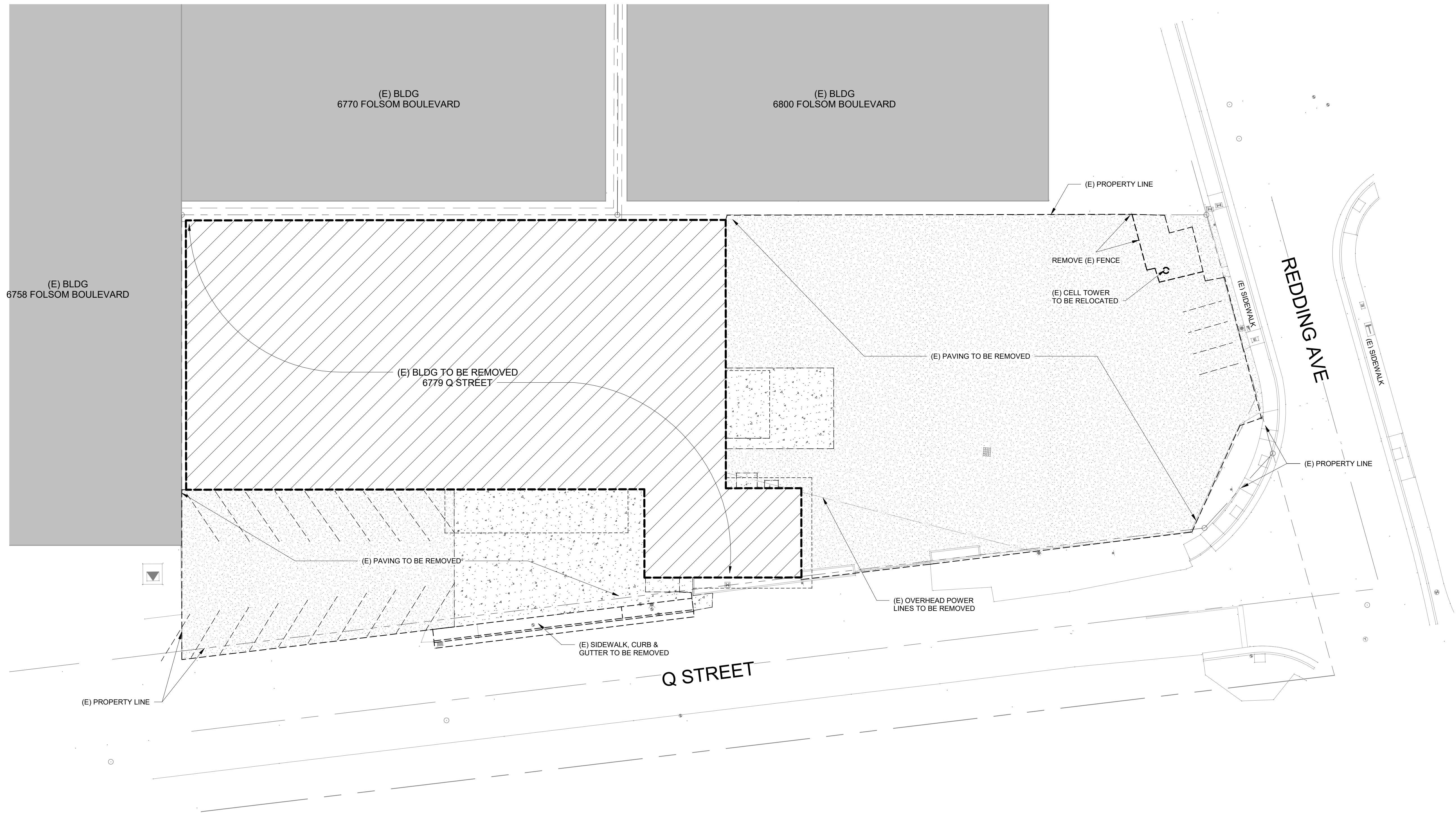
Project Site Photographs - Q St. Commons Sacramento Q Street, LLC

MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281.558.8787

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Project Site Photographs - Q St. Commons
Sacramento Q Street, LLC



1 Site Demolition Plan - 6779 Q Street
1" = 20'-0"

Site Demo - Q St. Commons

Sacramento Q Street, LLC

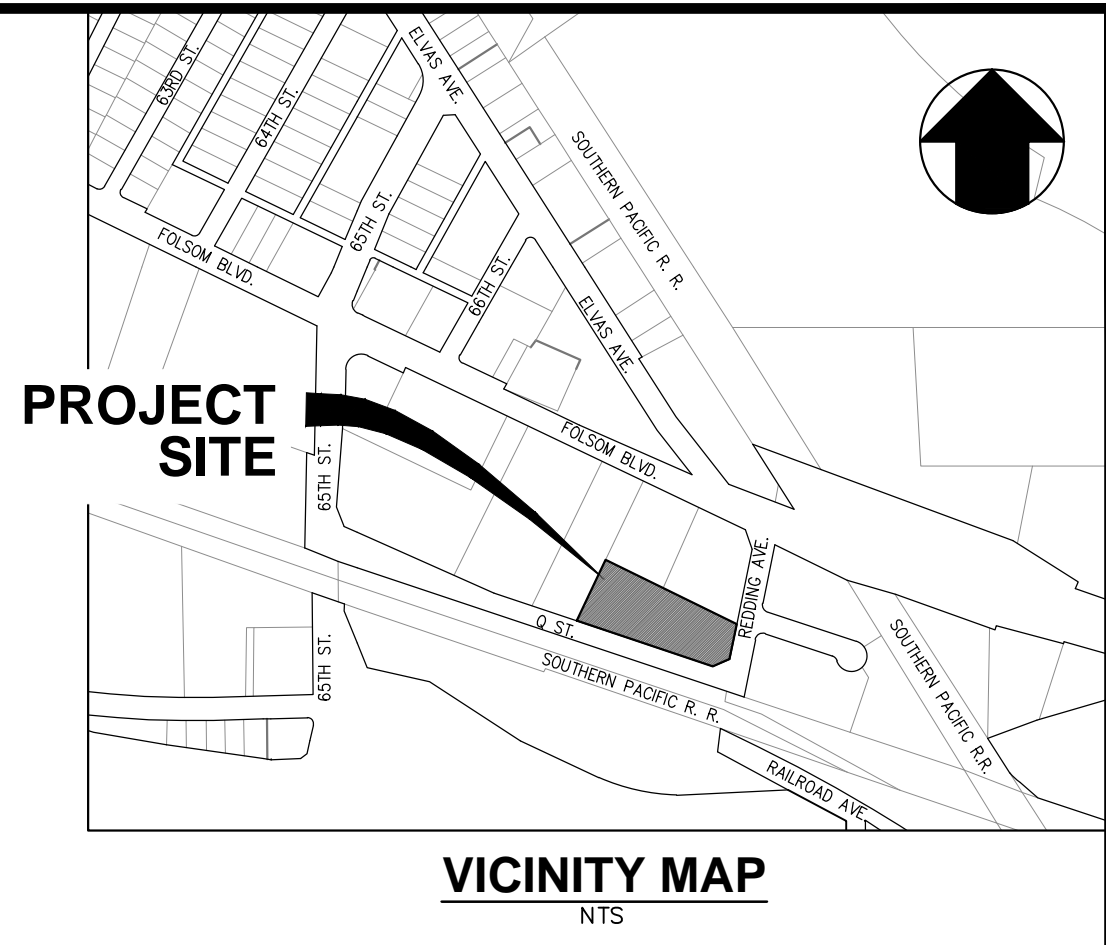
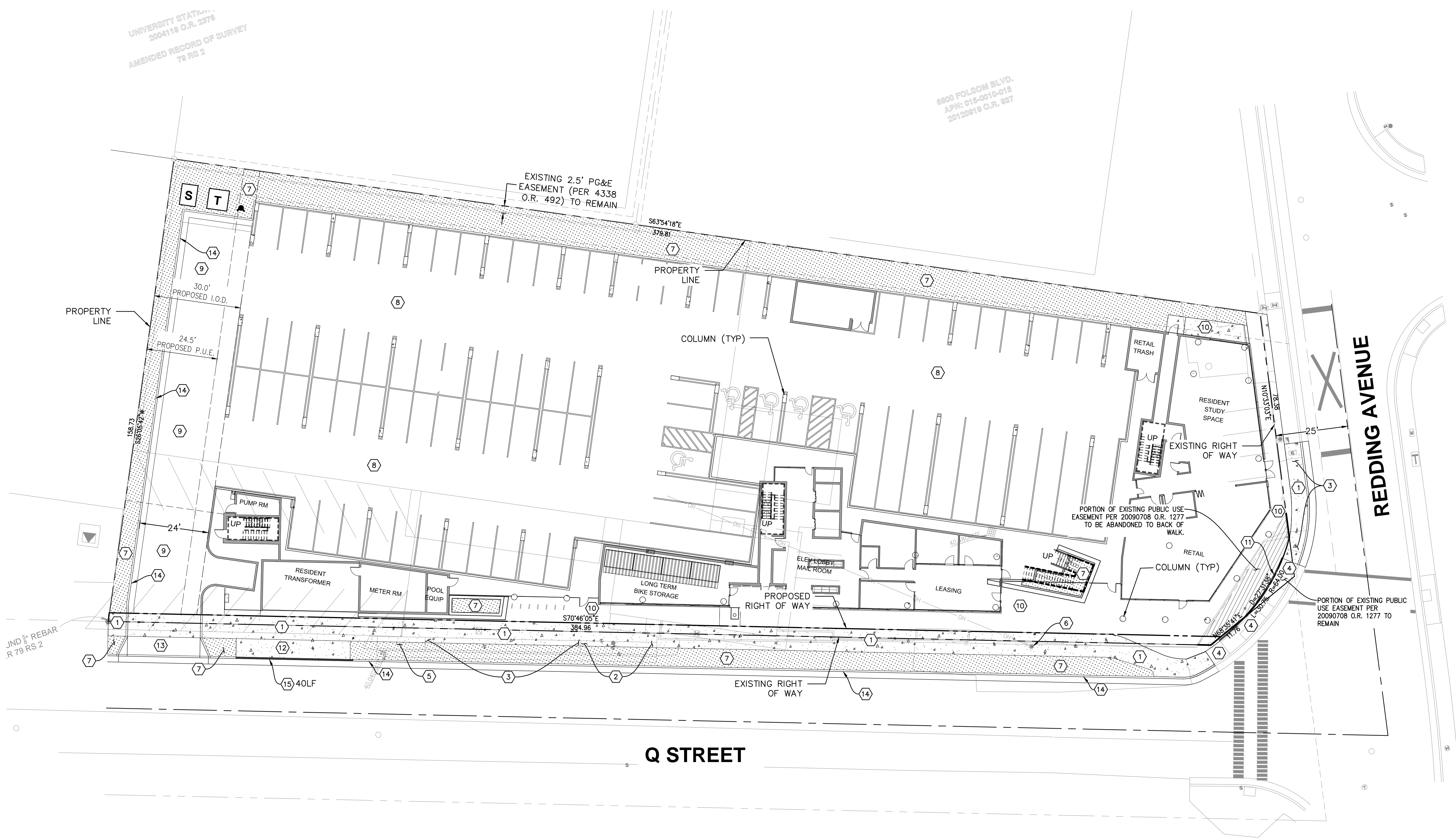
MEEKS PARTNERS
16000 Memorial Drive
Suite 100
Houston, Texas 77079
281.558.8787

04/20/18

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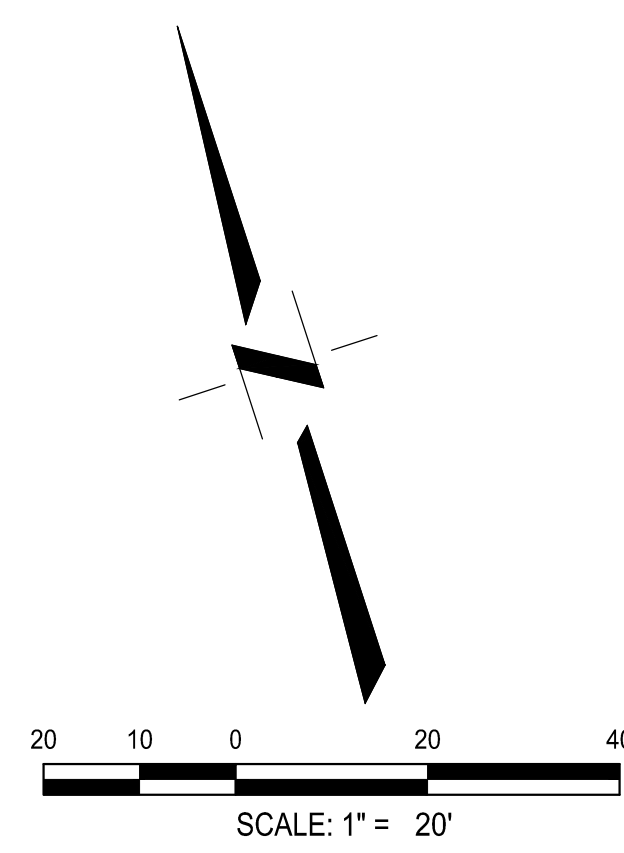
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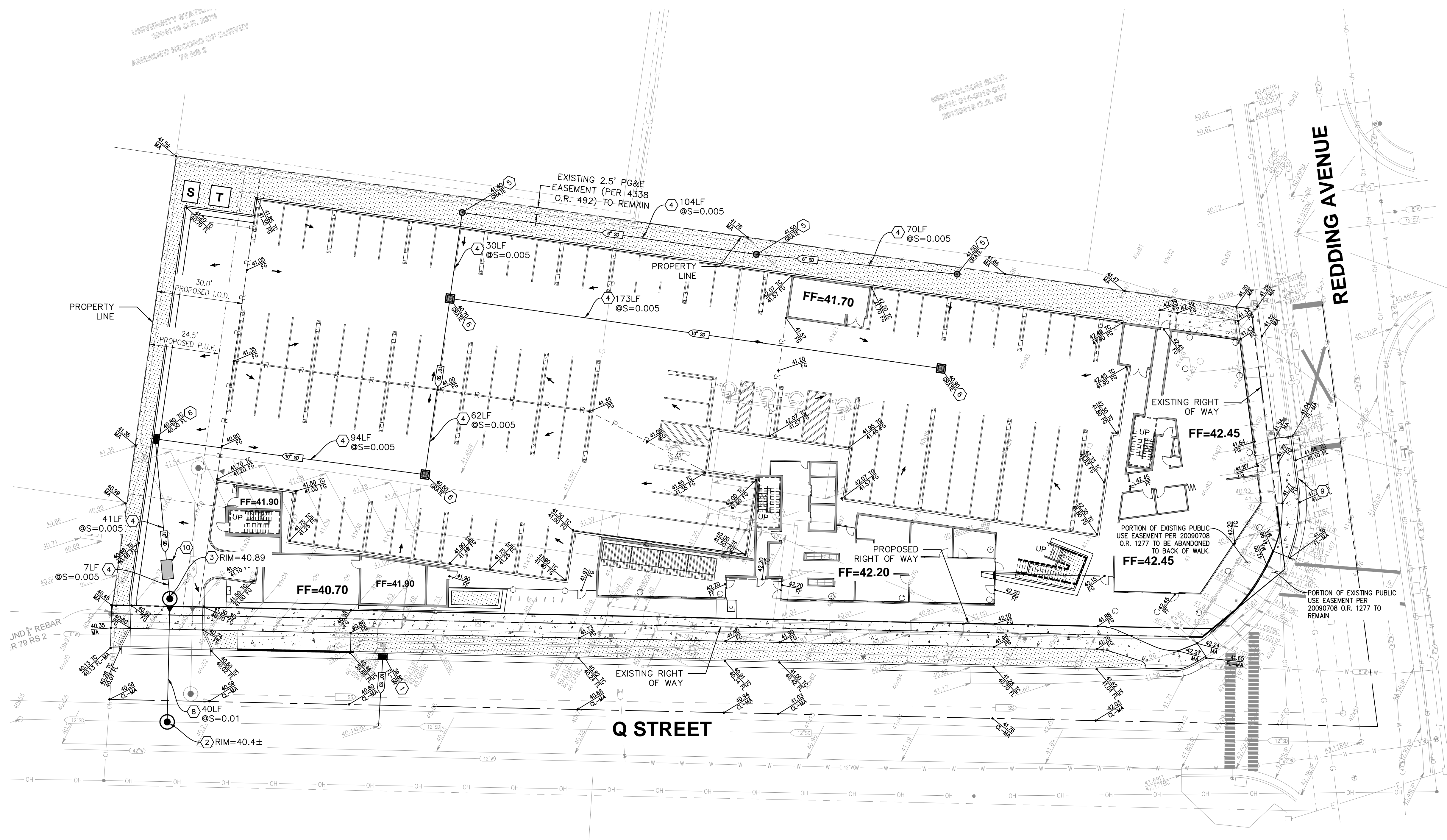


- KEYNOTES**
- 1. INSTALL NEW SIDEWALK PAVEMENT.
 - 2. EXISTING SIDEWALK TO BE REMOVED.
 - 3. EXISTING DRIVEWAY TO BE REMOVED.
 - 4. EXISTING SIDEWALK AND CURB RAMPS TO REMAIN.
 - 5. REMOVE EXISTING AC RAMP.
 - 6. EXISTING UTILITY POLE.
 - 7. PROPOSED PLANTER AREA. REFER TO LANDSCAPE PLANS.
 - 8. REMOVE EXISTING SITE PAVEMENT AND INSTALL NEW PARKING LOT PAVEMENT.
 - 9. REMOVE EXISTING SITE PAVEMENT AND INSTALL NEW DRIVE AISLE PAVEMENT.
 - 10. CONCRETE SIDEWALK PAVEMENT AREA.
 - 11. INSTALL RAIL AT BACK OF CURB RAMPS.
 - 12. INSTALL CONCRETE PAVEMENT FOR SMUD ACCESS TO TRANSFORMER ALCOVE.
 - 13. INSTALL NEW DRIVEWAY PER CITY OF SACRAMENTO DETAIL T-22.
 - 14. INSTALL TYPE 2 CURB AND GUTTER.
 - 15. INSTALL LOADING ZONE CURB STRIPING.

- NOTES**
- 1. THIS PRELIMINARY PAVING PLAN WAS PREPARED TO DEPICT PROPOSED SITE IMPROVEMENT CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HEREON AS THE DESIGN PROCESS PROGRESSES.
 - 2. THIS EXHIBIT IS BASED ON THE PRELIMINARY Q STREET COMMONS SITE PLAN PREPARED BY WEEKS + PARTNERS DATED AUGUST 2018.
 - 3. BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY MORROW SURVEYING DATED JUNE 2017.
 - 4. SITE AREA: 52,930 SQUARE FEET
 - 5. SEE ARCHITECTURAL SITE PLAN FOR PARKING MATRIX, AND BUILDING DIMENSIONS AND SETBACKS FROM PROPERTY LINE.



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CALIFORNIA														SACRAMENTO		SACRAMENTO	
Q STREET COMMONS SITE PAVING PLAN														SHEET C1 OF 4		DATE: 9/4/18	
JOB NO: 1672.04																	



KEYNOTES

- 1 REMOVE EXISTING DRAIN INLET AND INSTALL MODIFIED TYPE B INLET AND LEADER.
- 2 INSTALL NEW STANDARD MANHOLE NO. 3 PER CITY OF SACRAMENTO STANDARD DWG. NO S-70.
- 3 INSTALL NEW STANDARD MANHOLE NO. 3 WITH TRAP AND SUMP PER CITY OF SACRAMENTO STANDARD DWG. NO. S-90.
- 4 INSTALL PRIVATE STORM DRAIN LINE PER CITY OF SACRAMENTO STANDARDS. SIZE, SLOPE AND LENGTH PER PLAN.
- 5 INSTALL LANDSCAPE DRAIN.
- 6 INSTALL DRAIN INLET.
- 7 KEYNOTE NOT USED.
- 8 INSTALL 10" PVC SDR STORM DRAIN SERVICE TO CITY RIGHT OF WAY PER CITY OF SACRAMENTO STANDARDS.
- 9 KEYNOTE NOT USED.
- 10 INSTALL UNDERGROUND STORMWATER QUALITY MECHANICAL SYSTEM.
- 11 KEYNOTE NOT USED.

NOTES

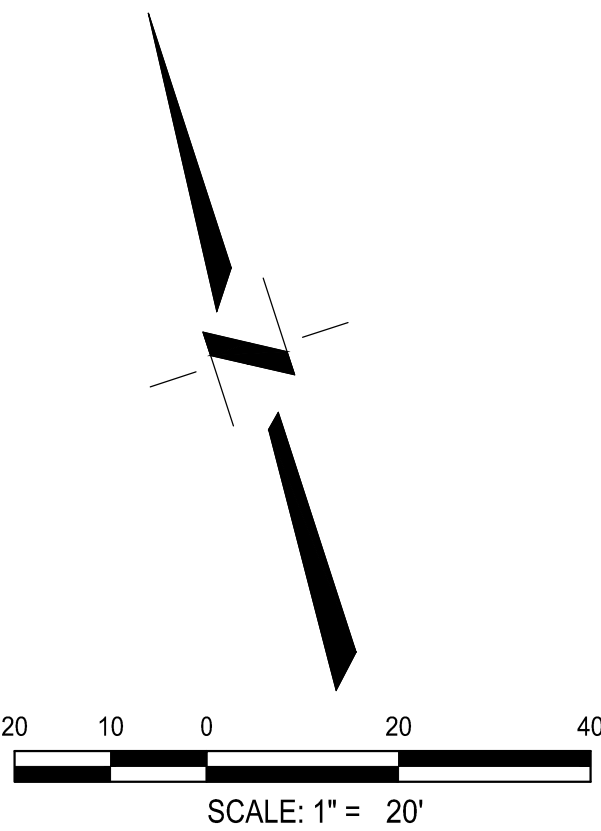
1. THIS PRELIMINARY GRADING AND DRAINAGE PLAN WAS PREPARED TO DEPICT PROPOSED GRADING AND DRAINAGE CONCEPTS AS REQUIRED FOR THE ENTITLEMENT PROCESS. ACTUAL FINAL DESIGN MAY VARY FROM THAT SHOWN HEREON AS THE DESIGN PROCESS PROGRESSES.
2. THIS EXHIBIT IS BASED ON THE PRELIMINARY Q STREET COMMONS SITE PLAN PREPARED BY MEEKS + PARTNERS DATED AUGUST 2018.
3. PROPOSED ELEVATIONS SHOWN ARE ESTIMATES ONLY. ACTUAL ELEVATIONS MAY CHANGE DURING FINAL DESIGN.
4. BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY MORROW SURVEYING DATED JUNE 2017.
5. EXISTING UTILITY IMPROVEMENTS ARE BASED ON AVAILABLE CITY BASE UTILITY MAPS. ACTUAL SIZES, TYPES AND LOCATIONS MAY VARY FROM INFORMATION SHOWN HEREON.
6. NO EXISTING ON-SITE DRAINAGE COURSES, ETC.

IMPERVIOUS SURFACE

TOTAL SITE AREA	EXISTING	PROPOSED
52,930 SF	52,930 SF	45,960 SF

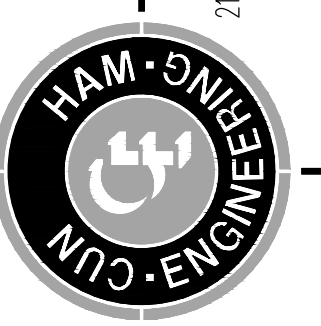
NOTES:

1. PROPOSED IMPERVIOUS SURFACE AREAS SHOWN ARE APPROXIMATE AND WILL VARY AS THE DESIGN PROCESS DEVELOPS.
2. THE EXISTING PROJECT SITE IS 100% IMPERVIOUS. THERE IS NO INCREASE IN IMPERVIOUS AREA TO THE SITE, THEREFORE, IT IS ASSUMED THAT NO MITIGATION OF DRAINAGE IMPACT WILL BE REQUIRED.
3. STORM WATER QUALITY MITIGATION MEASURES WILL BE PROVIDED BY AN UNDERGROUND MECHANICAL SYSTEM OR OTHER APPROVED METHOD.



Q STREET COMMONS
SITE GRADING PLAN

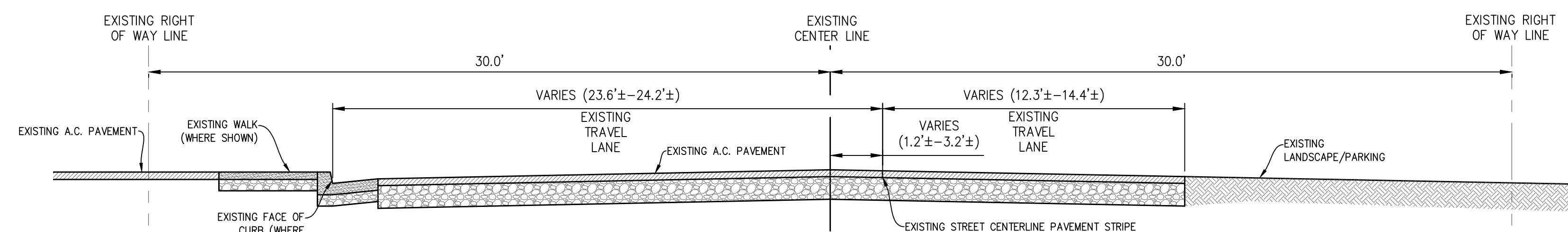
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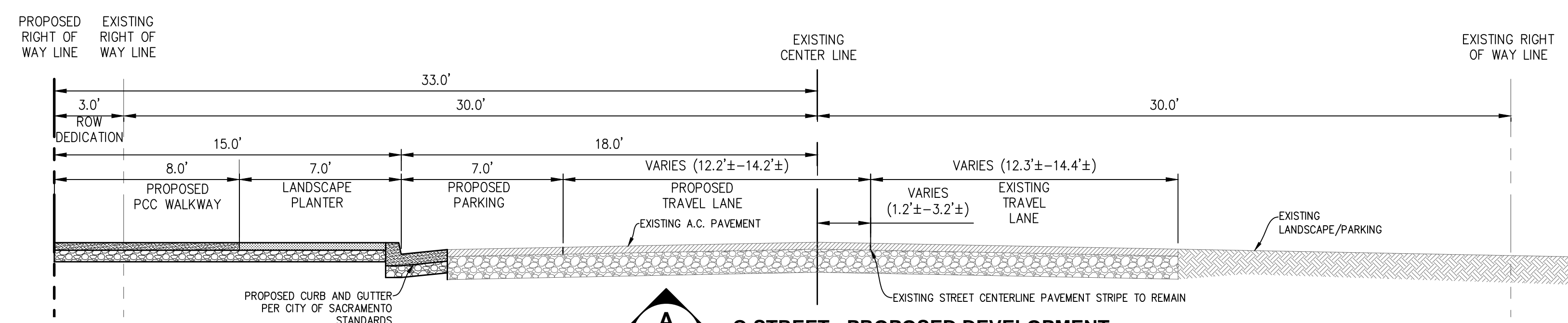
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SCALE
1" = 20'

NO.	DATE	REVISIONS	BY	APPD.

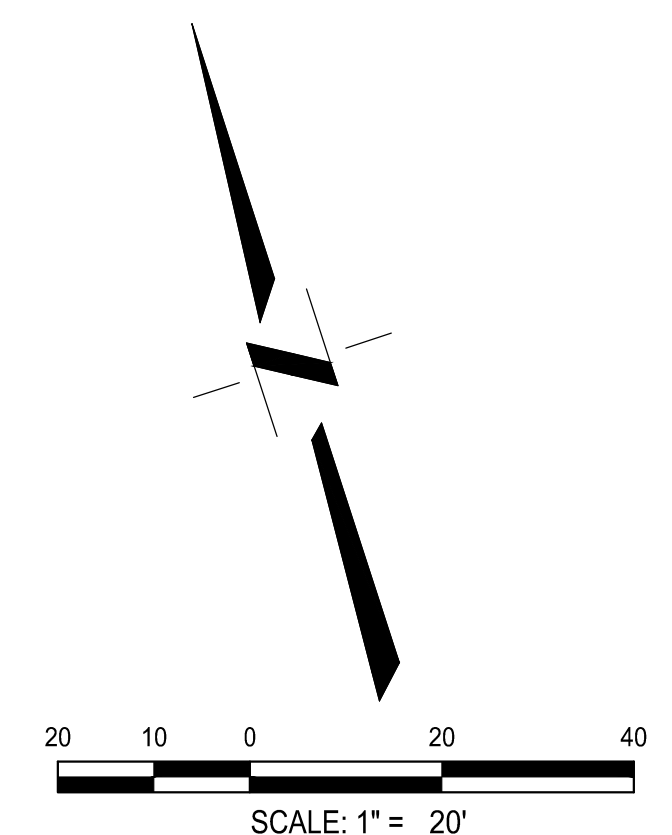
SHEET
C2
OF
4
DATE: 9/4/18
JOB NO: 1672.04



 **Q STREET - EXISTING CONDITION**
N.T.S.



EXISTING STREET CENTERLINE PAVEMENT STR
A Q STREET - PROPOSED DEVELOPMENT
N.T.S.



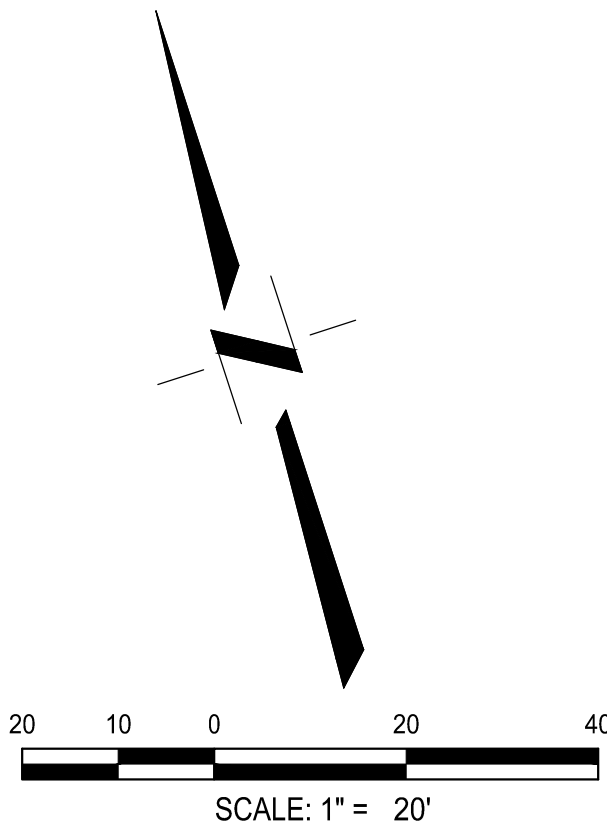


PLANTING NOTES

- ALL LANDSCAPING SHALL BE PROVIDED AND PERFORMED IN ACCORDANCE WITH PLANS, DETAILS, AND SPECIFICATIONS.
- ALL TREES AND SHRUBS WILL BE INSPECTED, ACCEPTED, OR REJECTED BASED ON CALIFORNIA STATE DEPARTMENT OF AGRICULTURE'S REGULATION FOR NURSERY INSPECTIONS, RULES, AND RATING. NO ROOT BOUND PLANTS SHALL BE USED, ONLY HEALTHY, WELL-FORMED, AND VIGOROUS PLANT MATERIAL SHALL BE USED.
- CONTRACTOR SHALL REMOVE LIME TREATED SOIL IN ALL PLANTING AREAS AND IMPORT PREFERRED LANDSCAPE PLANTING SOIL PRIOR TO IRRIGATION AND PLANTING.
- ALL PLANTING AREAS SHALL BE AMENDED TO A DEPTH OF 6" MINIMUM PRIOR TO DIGGING PLANTING PITS PER RECOMMENDATIONS OF THE SOIL ANALYSIS. REFER TO SOIL ANALYSIS NOTES ON THIS SHEET.
- ALL TREES & SHRUBS AT MATURITY SHALL HAVE A CLEARANCE OF THREE FEET (3') AROUND ANY ELECTRICAL BOXES, FIRE HYDRANTS, OR OTHER UTILITY BOXES. CONTRACTOR SHALL ADJUST AS REQUIRED IN FIELD.
- ALL TREES SHALL HAVE A CLEARANCE OF TWELVE FEET (12') AROUND ANY LIGHT FIXTURES FROM CENTER OF TREE TRUNK. CONTRACTOR SHALL ADJUST AS REQUIRED IN FIELD.
- ROOT BARRIERS ARE TO BE INSTALLED ADJACENT TO ALL SIDEWALKS WITHIN 5'-0" OF TREE TRUNK FOR A LENGTH OF 8' ON EACH SIDE OF THE TRUNK. SEE LANDSCAPE DETAILS.
- ALL PLANTING AREAS SHALL BE COMPLETELY FREE OF TRASH, DEBRIS, ROCKS AND CONSTRUCTION MATERIALS LARGER THAN 2".
- IF ADDITIONAL SOIL IS REQUIRED, IT SHALL BE APPROVED LOAM AS SIMILAR TO THE EXISTING SOIL AS POSSIBLE. FREE OF DEBRIS AND NOXIOUS WEEDS. PRIOR TO PLACING ADDITIONAL SOIL, DISC OR SCARIFY THE SUBGRADE TO A DEPTH OF AT LEAST 8" TO PERMIT BONDING TO THE SUBGRADE. SPREAD AND ROTOTILL A ONE-INCH LAYER OF NEW SOIL, THEN PROCEED TO PLACE REMAINING SOIL AND ESTABLISH FINISH GRADE.
- AFTER AMENDING THE SOIL, PRIOR TO PLANTING, A PRE-EMERGENT SHALL BE APPLIED TO ALL PLANTING AREAS. USE SURFLAN, RONSTAR-G, OR APPROVED EQUAL. CONTRACTOR SHALL APPLY AS RECOMMENDED PER MANUFACTURER RECOMMENDATIONS.
- ALL PLANTING AREAS SHALL BE BROUGHT TO FINISH GRADE BEFORE PLANTING BEGINS. FINISH GRADE SHALL BE 3" BELOW SURFACE OF WALKS, CURBS, AND PAVED AREAS IN PLANTING AREAS WHERE BARK IS TO BE INSTALLED. GRADES SHALL BE FLUSH AT CATCH BASINS. SURFACES SHALL BE SLOPED WITH REGARD TO DRAINAGE REQUIREMENTS SO THAT WATER DOES NOT PUDDLE OR STAND.
- ALL PLANTING AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS, FENCES & OTHER STRUCTURES, AND FROM SIDEWALK TO CURB.
- PLANT HOLES SHALL BE 3X WIDTH AND 1.5X DEPTH FOR SHRUBS AND 4X WIDTH AND 1.5X DEPTH TREES. BACKFILL FOR THE PLANT HOLES SHALL BE EXISTING SOIL WHICH HAS BEEN PREVIOUSLY AMENDED PER SOILS REPORT.
- BARK MULCH SHALL BE SPREAD IN ALL PLANTER AREAS AS FOLLOWS:
TREE & SHRUB AREAS: 3" LAYER MIN. OF WALK-ON BARK. RAINGARDEN PLANTER AREAS: 2" OF SMALL NON FLOATING CHIPPED BARK MULCH PER LANDSCAPE DETAILS.
MULCH SHALL BE FREE OF LARGE WOODY PIECES, SOIL, STONES, STICKS, DEBRIS OR OTHER FOREIGN MATTER. DO NOT INSTALL MULCH WITHIN 6" OF TREE TRUNKS, TYPICAL. ALL MULCH AREAS SHALL BE BOUNDED ON THEIR PERIMETER WITH RETENTION DEVICES SUCH AS BENDER BOARD, RAISED PAVEMENT OR SIMILAR BOARDS AND ALL BOUNDARIES SHALL BE RAISED 4" ABOVE ADJACENT LANDSCAPE GRADE OR TO THE DEPTH OF THE MULCH.
- ACCEPTANCE OF ALL NATIVE HYDROSEED AREAS WILL BE BASED ON UNIFORM COLOR AND ESTABLISHMENT OF HYDROSEED WITHOUT BARE SPOTS. IF HYDROSEED IS NOT ESTABLISHED PRIOR TO THE END OF THE MAINTENANCE PERIOD CONTRACTOR SHALL REPAIR HYDROSEED AREAS AND SHALL CONTINUE MAINTENANCE UNTIL HYDROSEED AREAS ARE ACCEPTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, AND SERVICES REQUIRED TO MAINTAIN THE LANDSCAPE IN AN ATTRACTIVE CONDITION AS SPECIFIED HEREIN FOR A PERIOD OF 90 DAYS AFTER FINAL INSPECTION BY OWNER. MAINTENANCE PERIOD SHALL COMMENCE AFTER ALL PLANTING AND RELATED WORK HAS BEEN COMPLETED AS DETERMINED AT FINAL INSPECTION IN ACCORDANCE WITH THE PLANS AND STANDARD SPECIFICATIONS.
- SPECIAL WARRANTY: WARRANT THE FOLLOWING LIVING PLANT MATERIALS FOR THE FOLLOWING SPECIFIED TIME PERIOD AFTER DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLECT, OR ABUSE BY OWNER, ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD, OR INCIDENTS THAT ARE BEYOND CONTRACTOR'S CONTROL.
1) TREES - 1 YEAR 2) SHRUBS - 6 MONTHS 3) GROUND COVERS - LENGTH OF MAINTENANCE
- REMOVE AND REPLACE DEAD PLANTING MATERIALS IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. REPLACE PLANTING MATERIALS THAT ARE IN A SUBSTANTIALLY UNHEALTHY CONDITION (MORE THAN 25% OF THE PLANT DEAD OR REMOVED DUE TO DEATH OF BRANCHES, ETC.) AT THE END OF THE WARRANTY PERIOD.
- A LIMIT OF ONE REPLACEMENT OF EACH PLANT MATERIAL WILL BE REQUIRED, EXCEPT FOR LOSSES OR REPLACEMENTS DUE TO FAILURE TO COMPLY WITH REQUIREMENTS.

PLANTING LEGEND

TREES						ORNAMENTAL GRASSES					
CODE	BOTANICAL NAME	COMMON NAME	CONTAINER SIZE	CAL	SIZE	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HxW
PIS KEI	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache	15 gal			CAL KAR	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal	L	4'X3'
GROUNDCOVERS						SMALL SHRUBS					
CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HxW	CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HxW
HYP CA2	Hypericum calycinum	Creeping St. John's Wort	1 gal	L	1.5'X4'	CEA VAL	Ceanothus maritimus 'Valley Violet'	Maritime Ceanothus	1 gal	L	2'X4'
JUN BUF	Juniperus sabina 'Buffalo'	Buffalo Juniper	1 gal	L	1'X6'	EPI CAR	Epilobium canum 'Carmen's Grey'	Carmen's Grey California Fuchsia	1 gal	L	2'X4'
LAN WH2	Lantana montevidensis 'White Lightnin'	Trailing Lantana	1 gal	L	1'X5'	RHA BA4	Rhaphiolepis indica 'Ballerina'	Ballerina Indian Hawthorn	1 gal	M	2'X4'
LARGE SHRUBS											
CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HxW	SAL RED	Salvia greggii 'Red'	Autumn Sage	5 gal	L	2'X2'
ACA MOL	Acanthus mollis	Bear's Breech	1 gal	M	4'X4'						
NAN COM	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	1 gal	L	4'X3'						
MEDIUM SHRUBS											
CODE	BOTANICAL NAME	COMMON NAME	CONT	WATER USE	HxW						
MAH COM	Mahonia aquifolium 'Compacta'	Compact Oregon Grape	5 gal	L	3'X5'						
PHO SPR	Phormium tenax 'Dazzler'	New Zealand Flax	1 gal	L	3'X5'						
PIT WHE	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Mock Orange	1 gal	M	2.5'X3'						



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SCALE
1" = 20'

BY
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DATE
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PRELIMINARY PLANTING PLAN

SACRAMENTO
CALIFORNIA

SHEET
1
OF
1

DATE: 9/4/18
JOB NO: 1672.04

S:\Projects\1672.04 - Street\AutoCAD\1672-04-02-Plant-Landsc - Layout1 9/05/2018 9:59AM Plotted by: jacob



RAISED 18" FIBERGLASS OR
CONCRETE LANDSCAPE
PLANTER TYP.

OUTDOOR KITCHEN/
BBQ AREA

RAISED 18" FIBERGLASS OR
CONCRETE LANDSCAPE
PLANTER TYP.

RAISED 18" FIBERGLASS OR
CONCRETE LANDSCAPE
PLANTER TYP.

SYNTHETIC TURF
GATHERING/
POOL LOUNGE AREA

POOL LOUNGE CHAIRS/
TABLES TYP.

18" RAISED PLANTER/
BUFFER FROM POOL AREA

CONCRETE/PAVER POOL
DECKING SURROUND

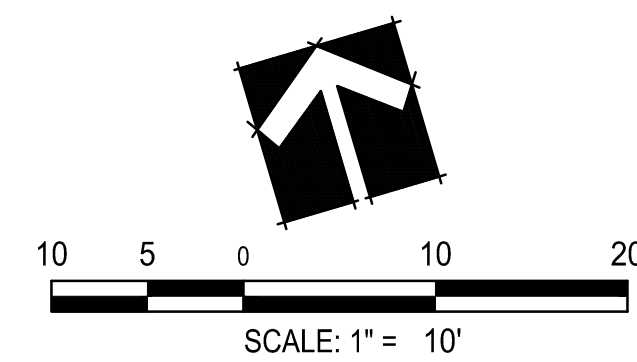
CONCRETE/PAVER
LOUNGE/GATHERING SPACE

COUCH/CHAIR SEATING
WITH TABLES TYP.

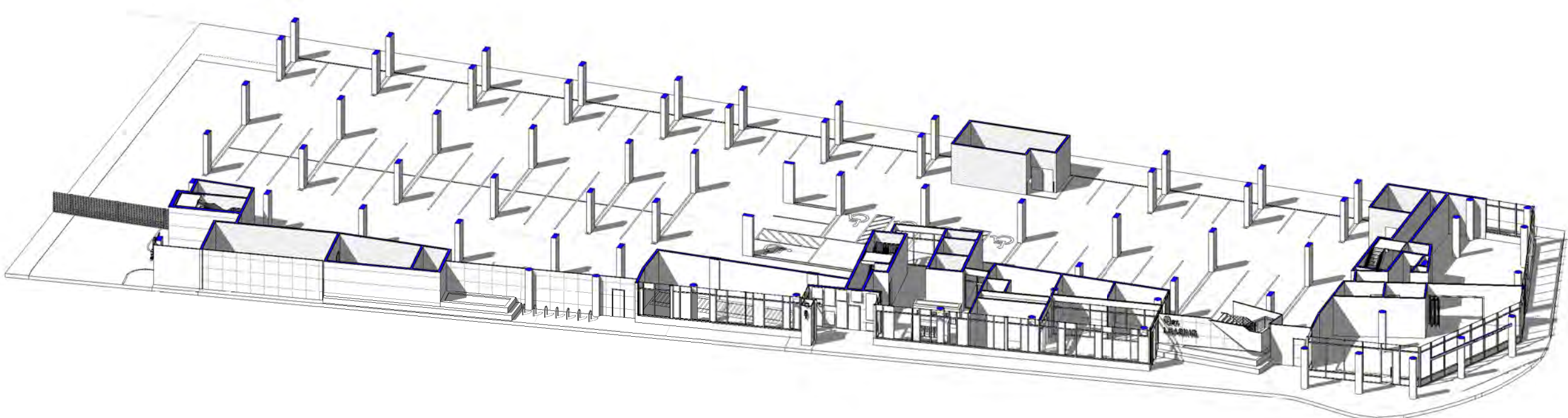
18" RAISED PLANTER/
SEATWALL

SYNTHETIC TURF
GATHERING AREA

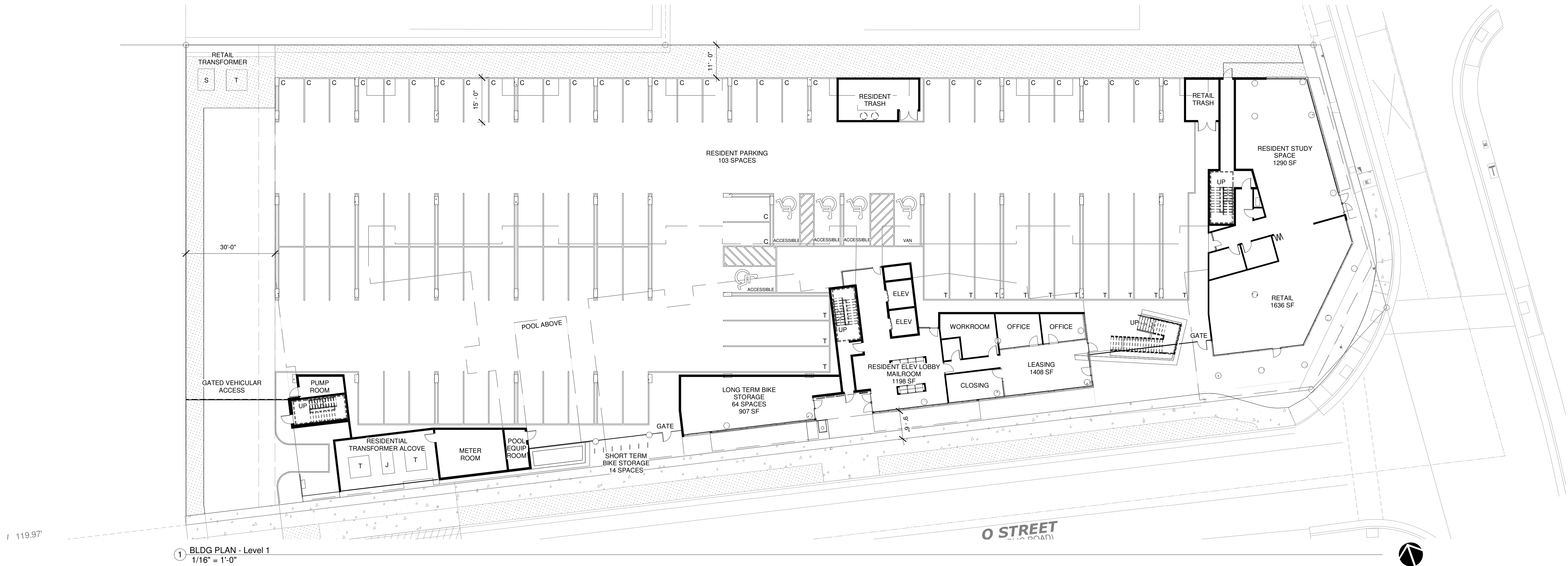
TRELLIS COVERED
OUTDOOR KITCHEN/
BBQ AREA



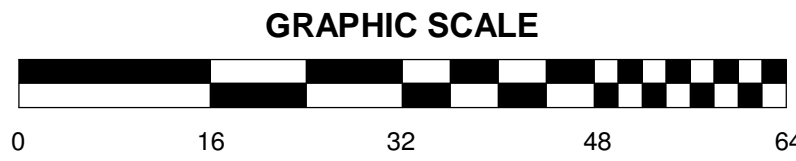
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<div>PRELIMINARY PODIUM/POOL DECK</div> <div>SITE DESIGN</div> <div>SACRAMENTO</div> <div>CALIFORNIA</div>									
<div>SHEET</div> <div>L1.1</div> <div>OF</div> <div>4</div> <div>DATE: 09/05/18</div> <div>JOB NO: 1672.04</div>									



2 AXON LEVEL 01



1 BLDG PLAN - Level 1
1/16" = 1'-0"



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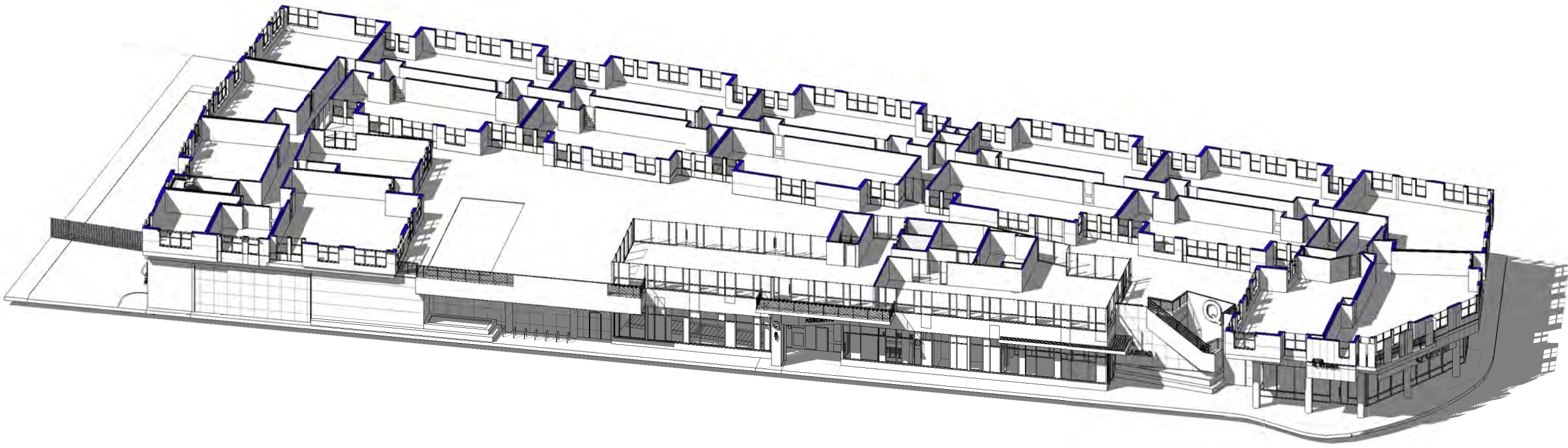
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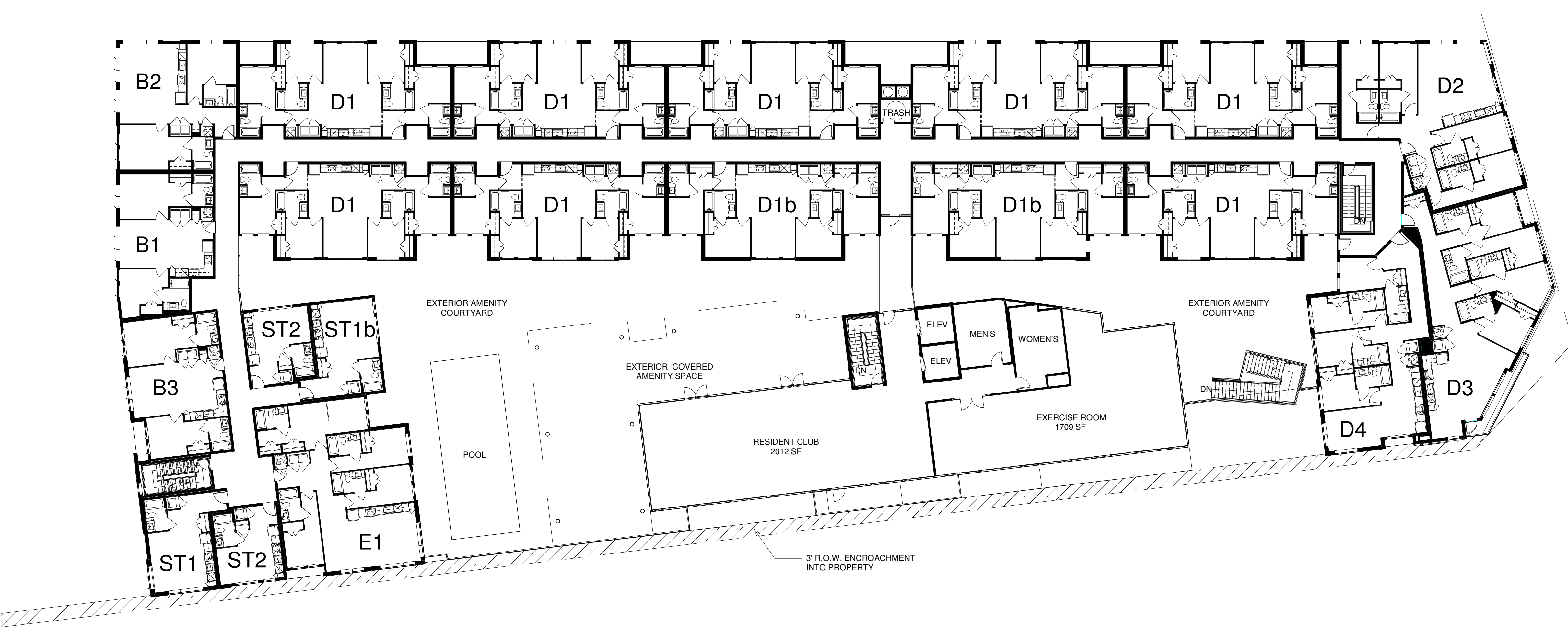
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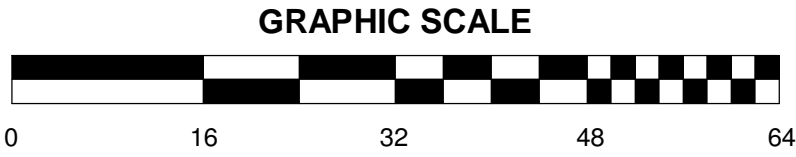
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2 AXON LEVEL 02

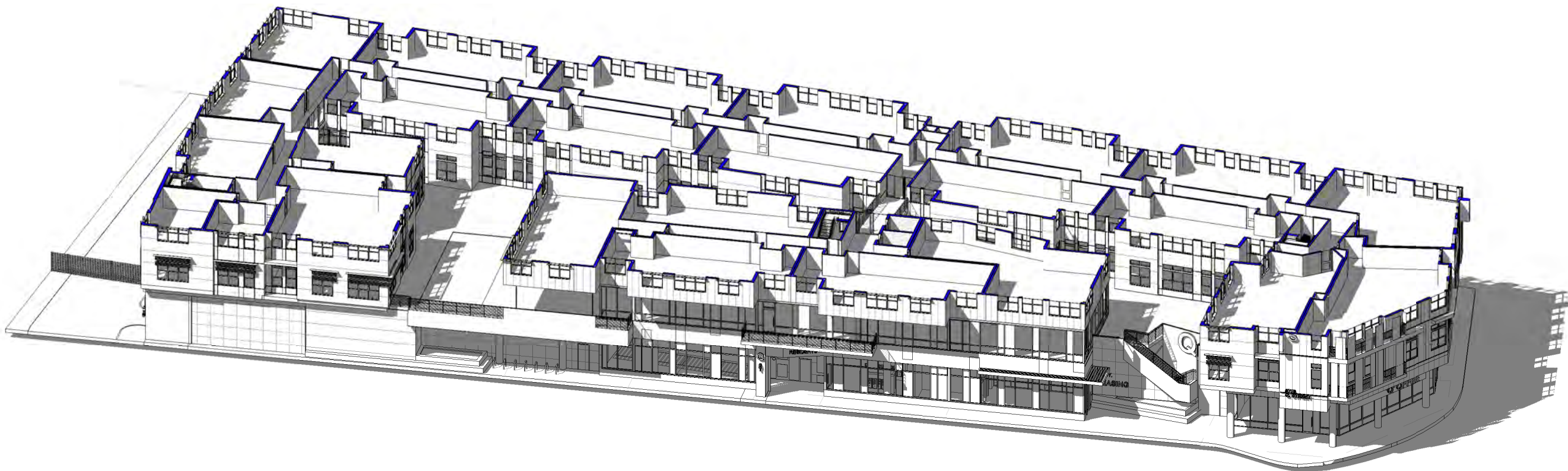


1 BLDG PLAN - Level 2
1/16" = 1'-0"

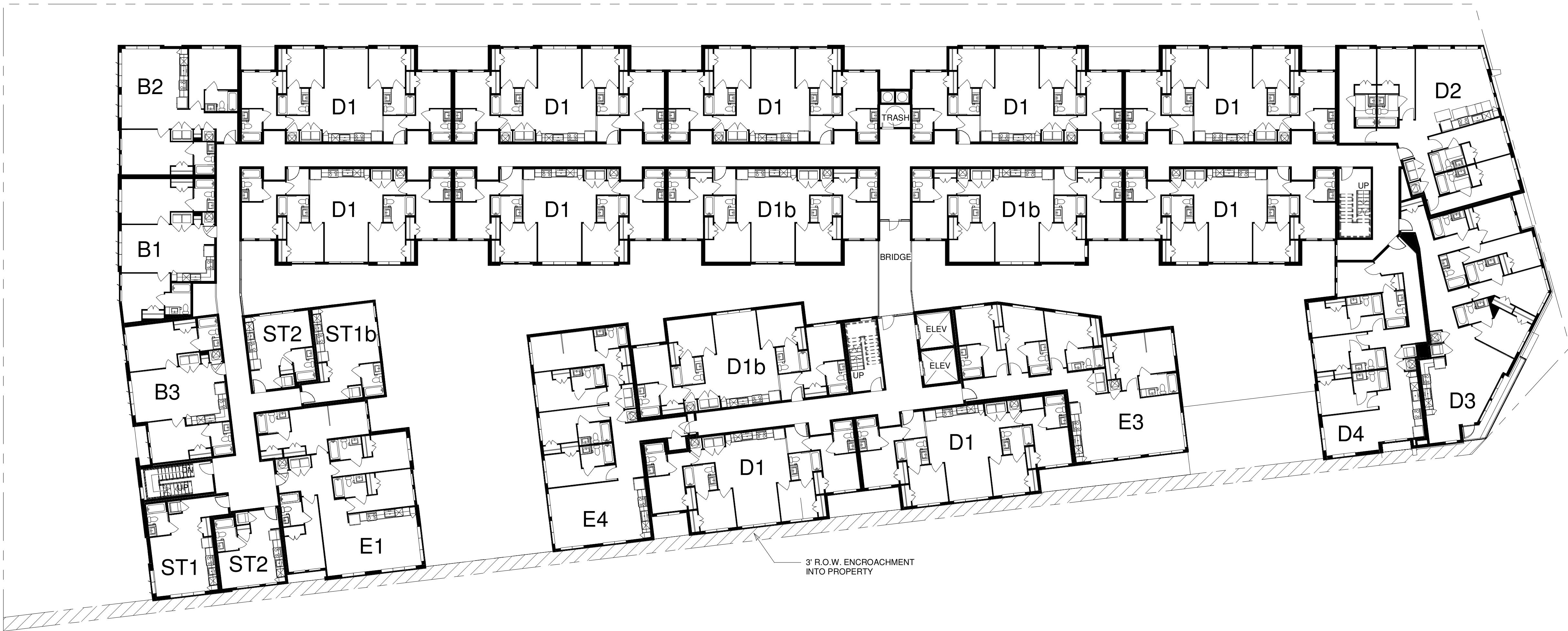


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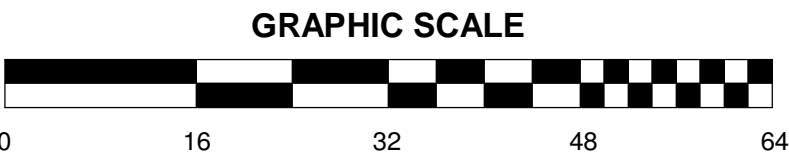
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2 AXON LEVEL 03



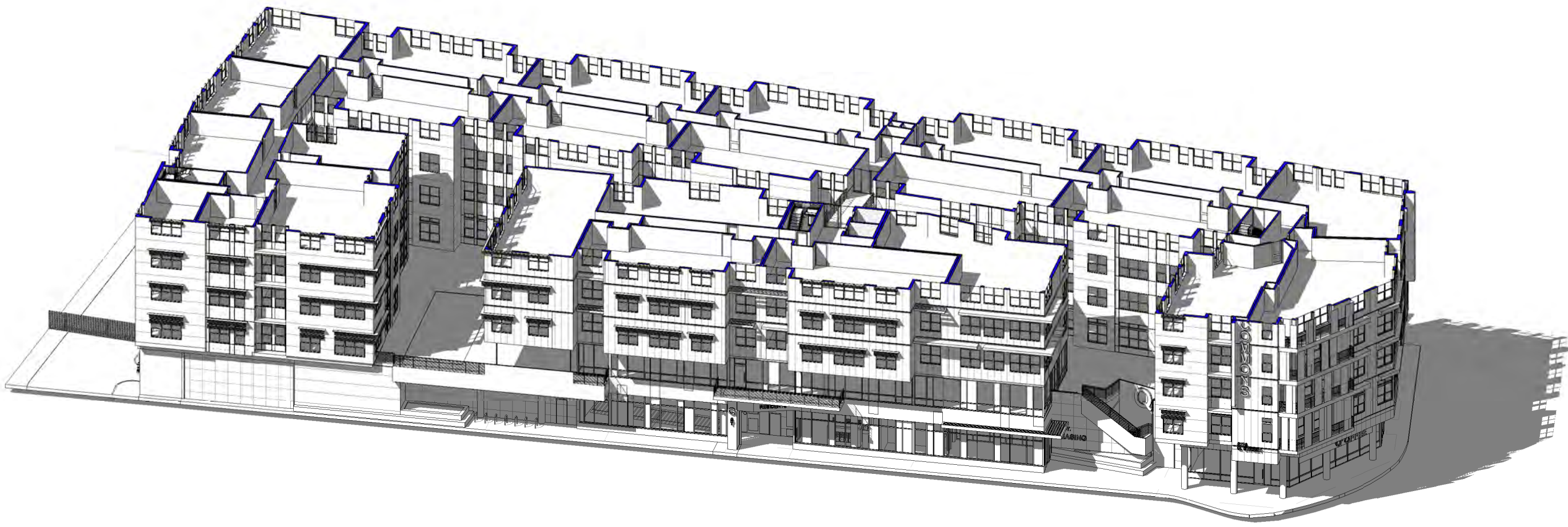
1 BLDG PLAN - Level 3
1/16" = 1'-0"



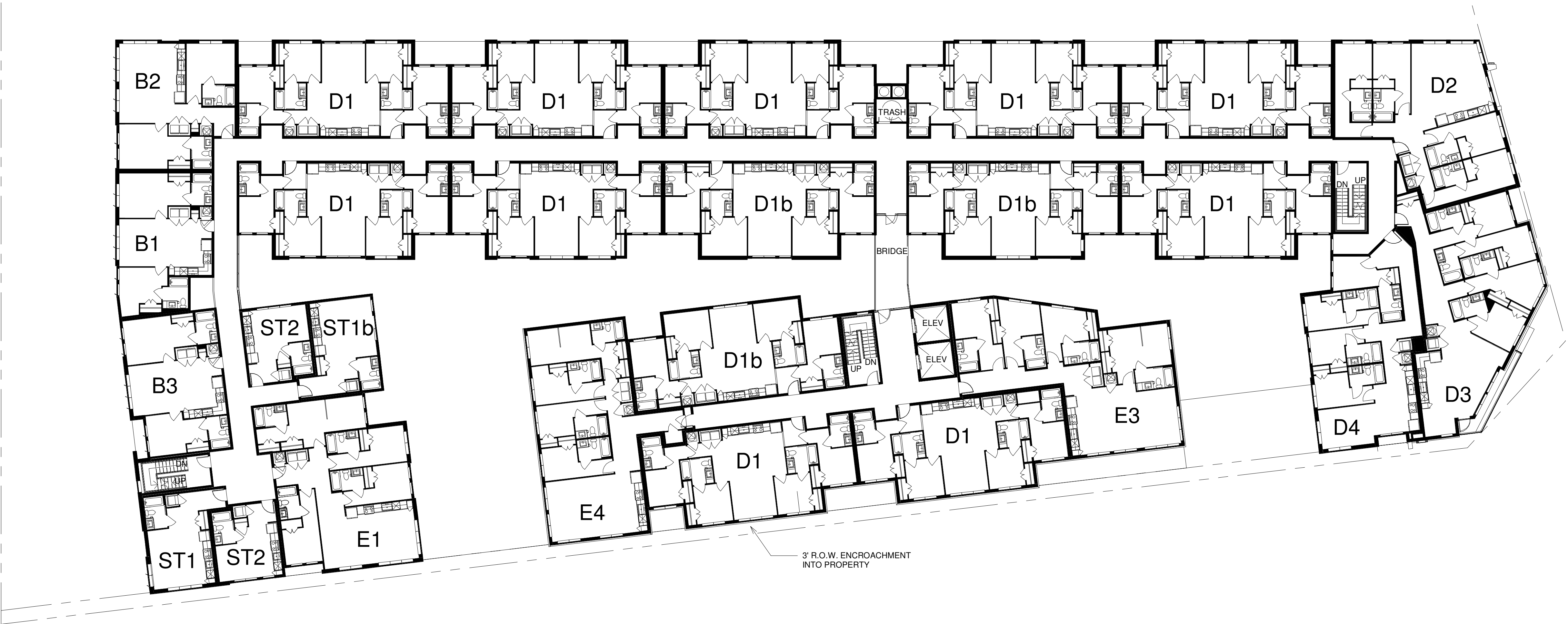
Bldg Lvl 03 - Q St. Commons

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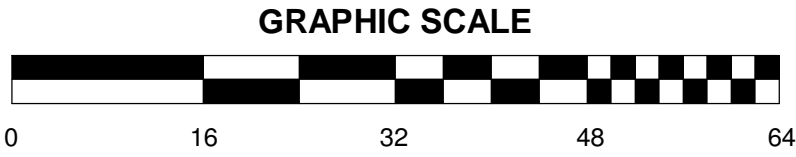
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2 AXON LEVEL 05

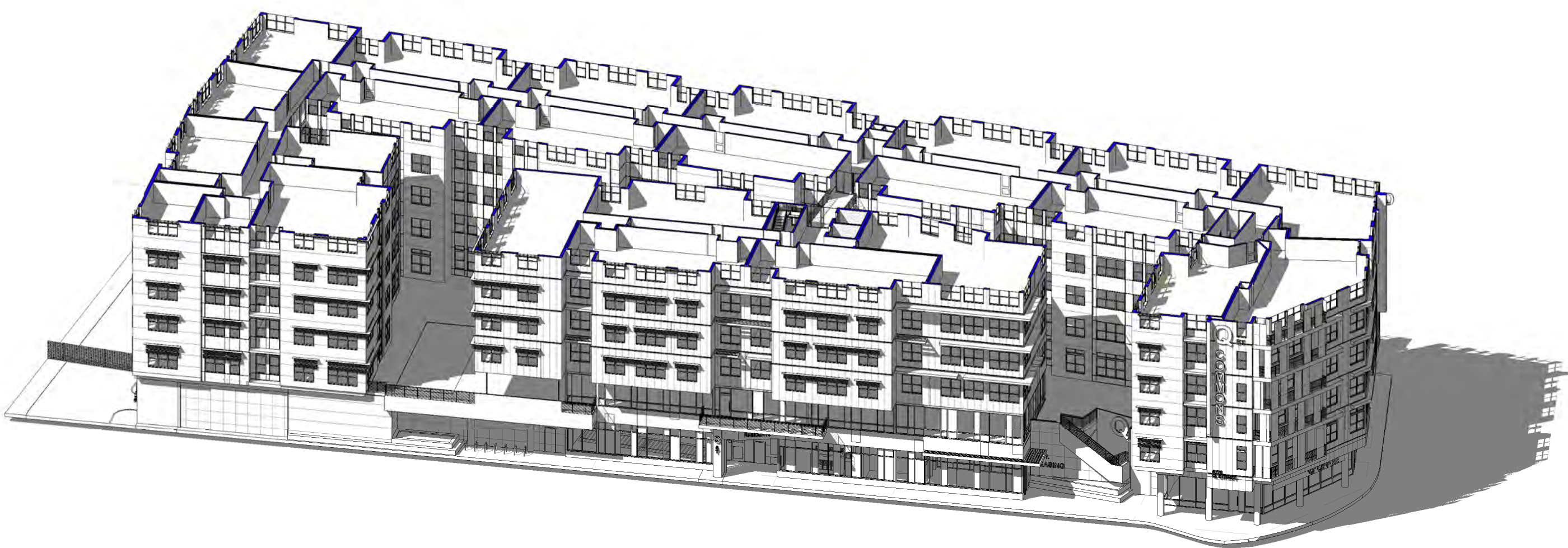


1 BLDG PLAN - Level 5
1/16" = 1'-0"

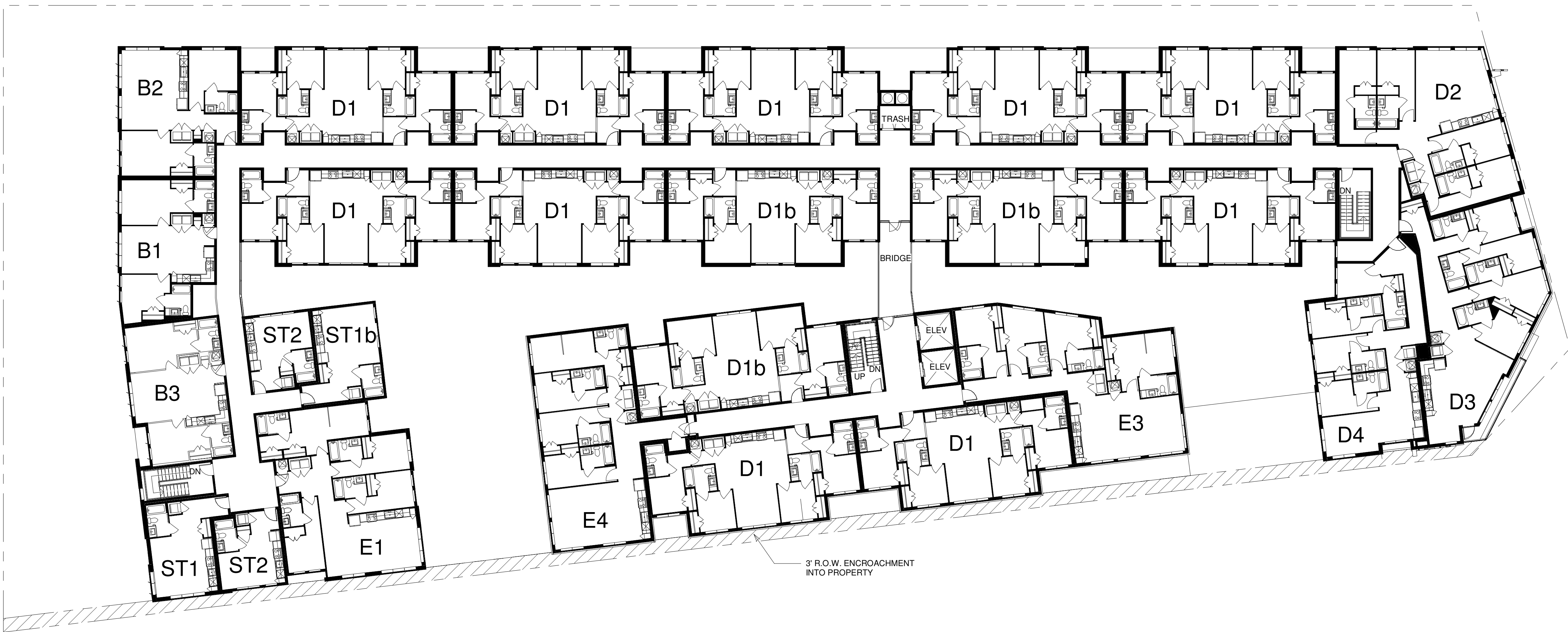


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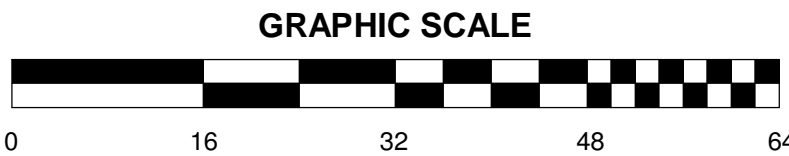
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2 AXON LEVEL 06



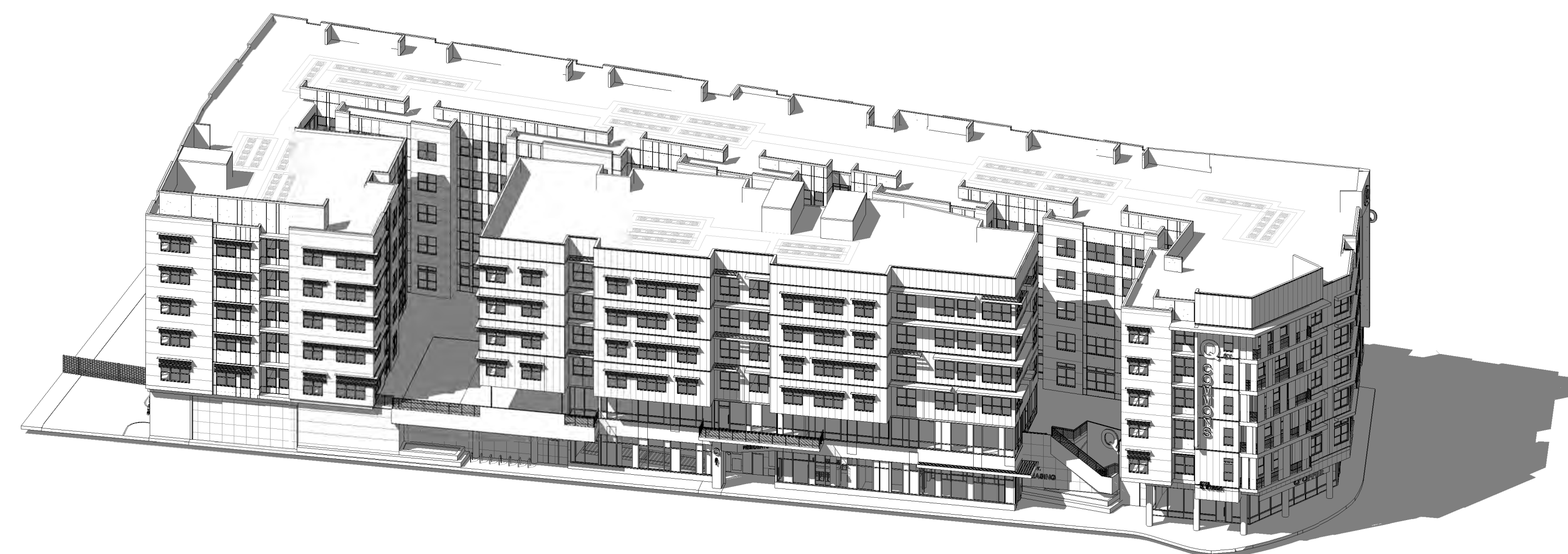
1 BLDG PLAN - Level 6
1/16" = 1'-0"



Bldg Lvl 06 - Q St. Commons

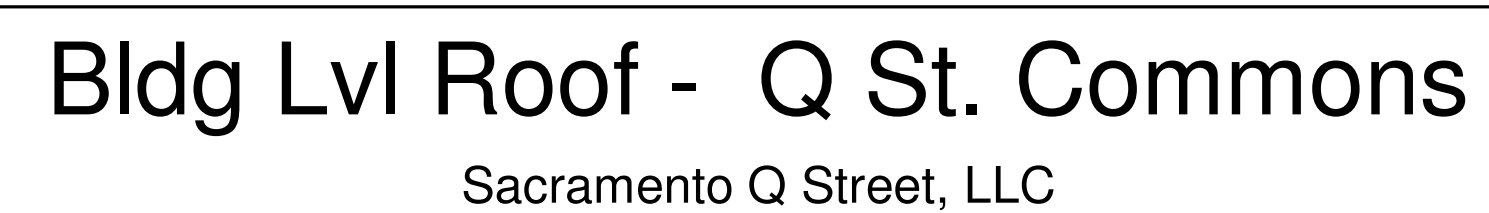
Sacramento Q Street, LLC

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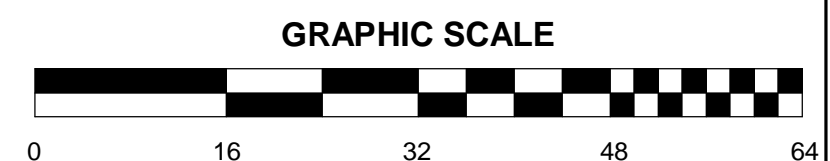
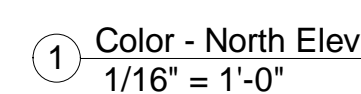
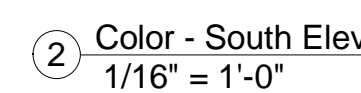
This architectural floor plan illustrates the layout of a building's roof, detailing the placement of antennas and various structural elements. The plan is divided into several sections by a central horizontal line.

- Top Section:** Features four groups of "AC CONDENSER UNITS" arranged in rows. Parapet walls are labeled with heights: "4' PARAPET WALL, TYP", "2' PARAPET WALL, TYP", "4' PARAPET WALL, TYP", and "ANGLED PARAPET WALL".
- Bottom Section:** Contains a large central area with "STAIR - ROOF TOP ACCESS" and "ELEV OVER RUN". To the left, there are more "AC CONDENSER UNITS" and a "STAIR - ROOF TOP ACCESS" area. A "9' PARAPET WALL" is indicated on the left side.
- Antenna Locations:** Five specific locations are marked with callouts:
 - 1 A4.01:** Located near the bottom left corner.
 - 2 A4.01:** Located near the top left corner.
 - 3 A3.06:** Located near the bottom left corner, adjacent to the 9' parapet wall.
 - 4 A3.06:** Located near the bottom right corner, adjacent to a "9' PARAPET WALL".
 - 5 A3.06:** Located near the top right corner, adjacent to an "ANGLED PARAPET WALL".
- Other Labels:** "ANTENNA 'A' LOCATION", "ANTENNA 'B' LOCATION", and "ANTENNA 'C' LOCATION" are also present, corresponding to the numbered callouts.





③ Color - East Elev
1/16" = 1'-0"



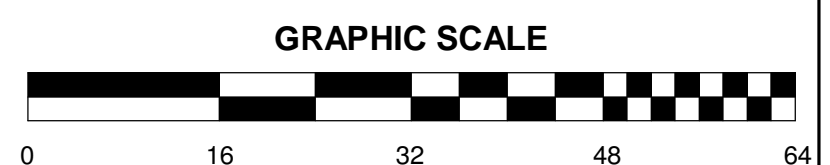
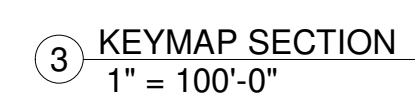
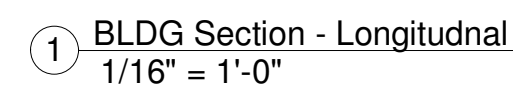
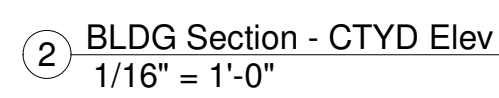
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A4.00

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STREET VIEW LOOKING SOUTHWEST AT THE CORNER OF 69TH ST AND REDDING AVE



STREET VIEW LOOKING SOUTH ALONG 69TH ST./REDDING AVE



STREET VIEW LOOKING NORTH EAST ALONG Q ST.



STREET VIEW LOOKING NORTHEAST ALONG Q ST.



AERIAL VIEW LOOKING NORTH TOWARDS CAMPUS

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STREET VIEW LOOKING NORTHWEST AT THE CORNER OF Q ST. AND REDDING AVE



STREET VIEW LOOKING NORTH ALONG Q ST.



STREET VIEW LOOKING AT RETAIL ENTRY



AERIAL VIEW LOOKING SOUTH



STREET VIEW LOOKING AT LEASING ENTRY

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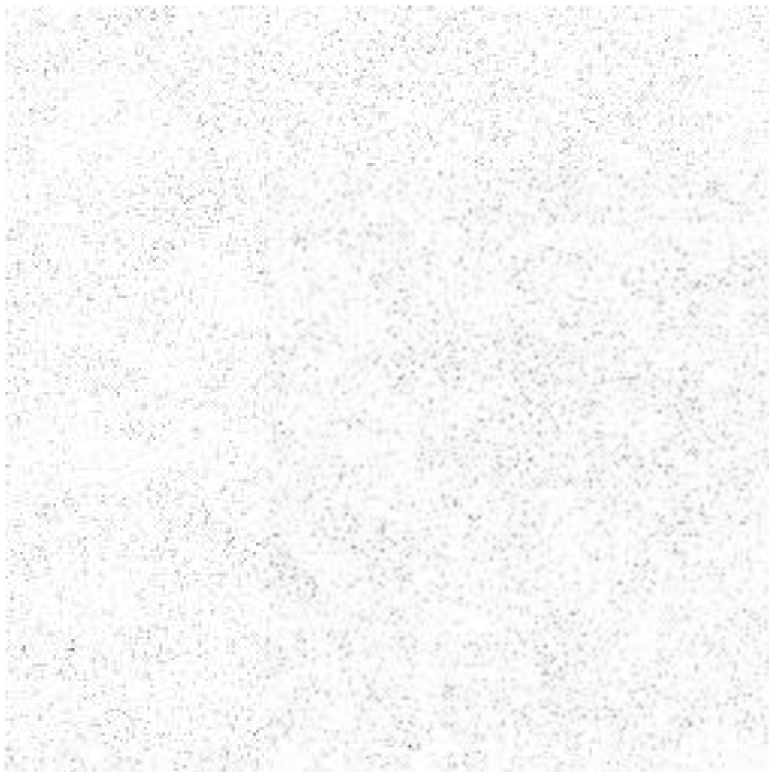
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S1 - STUCCO COLOR 01



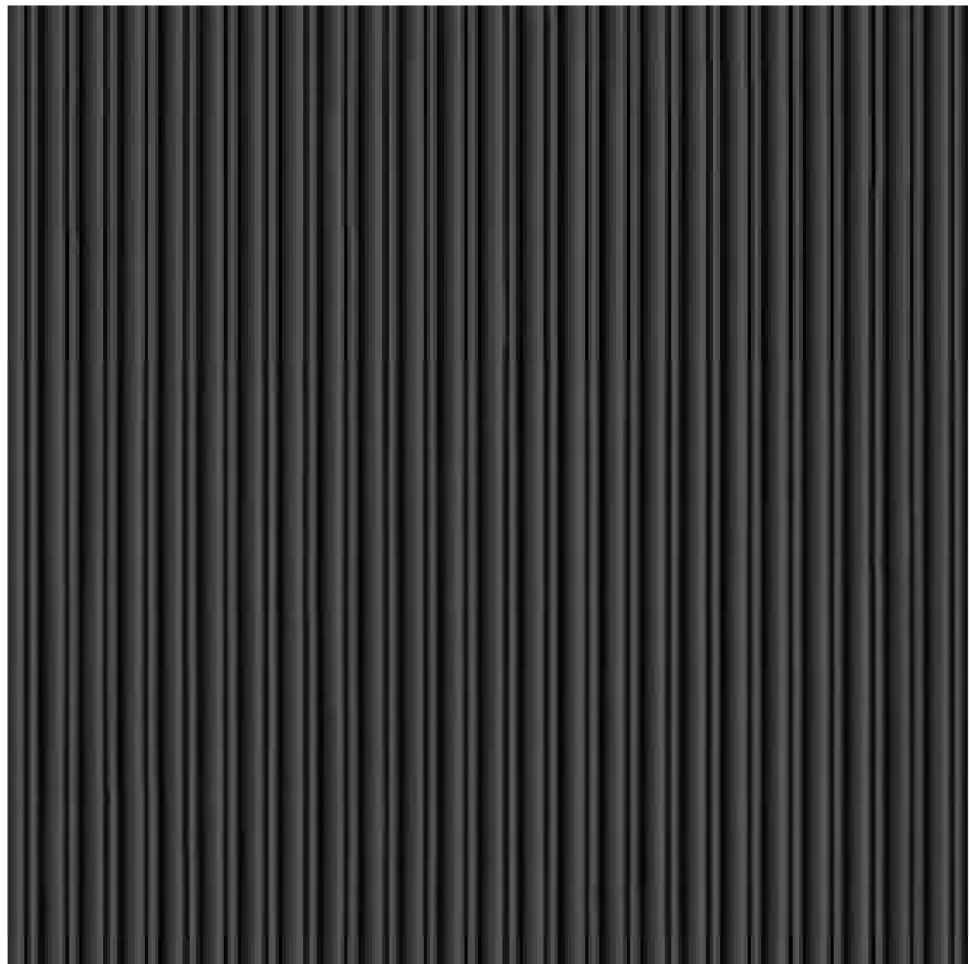
S2 - STUCCO COLOR 03



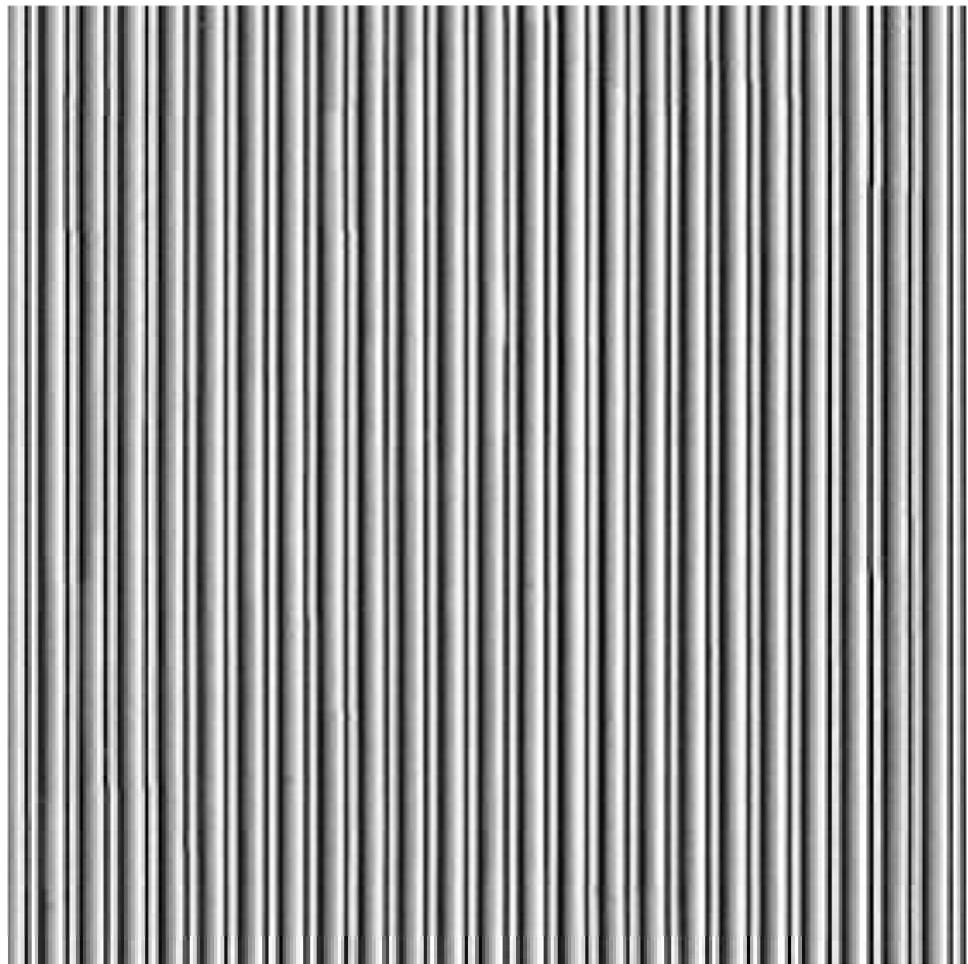
MTL 03 - HORIZONTAL COURRGATED METAL



HORIZONTAL PROFILE



MTL 02 - COURRGATED METAL
COLOR 02



MTL 01 - COURRGATED METAL
COLOR 01



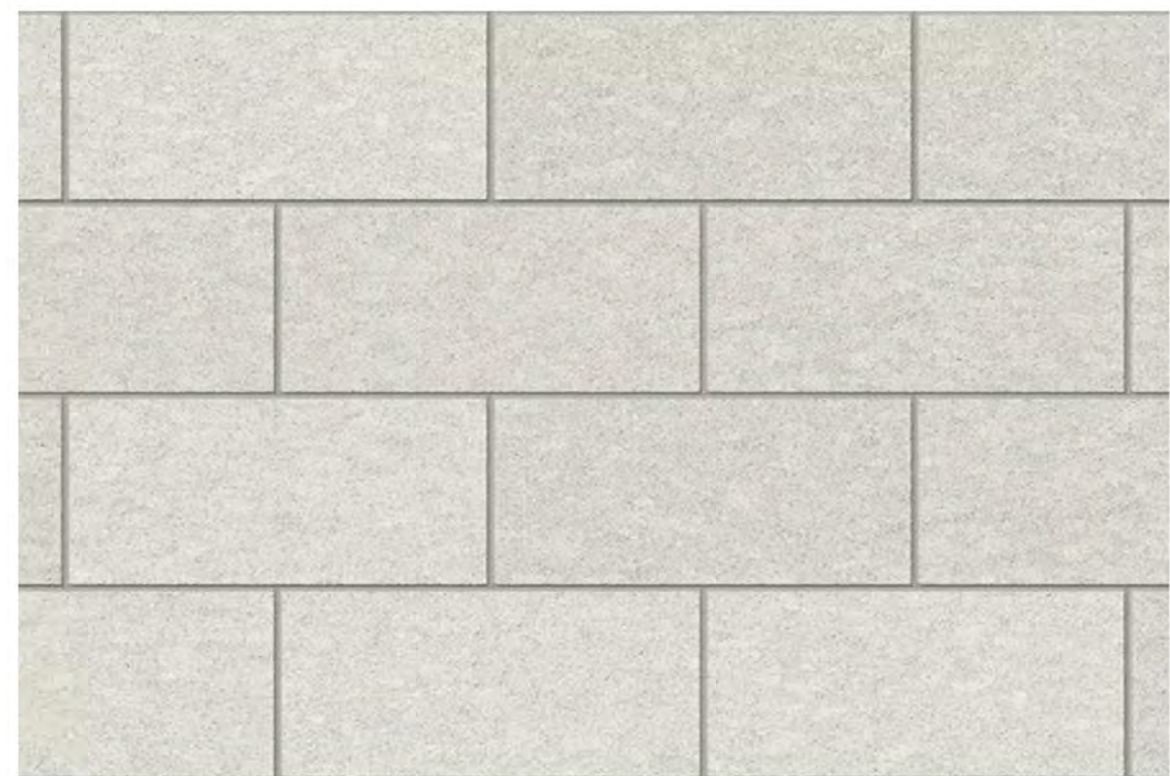
VERTICAL PROFILE



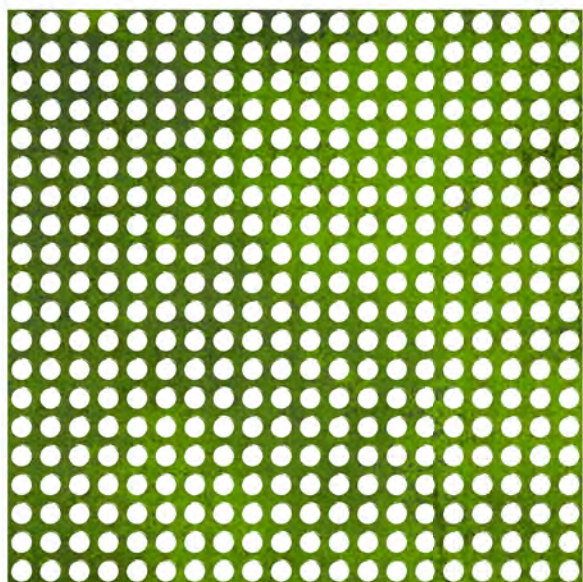
W1 - WINDOW COLORED FILM APPLICATION



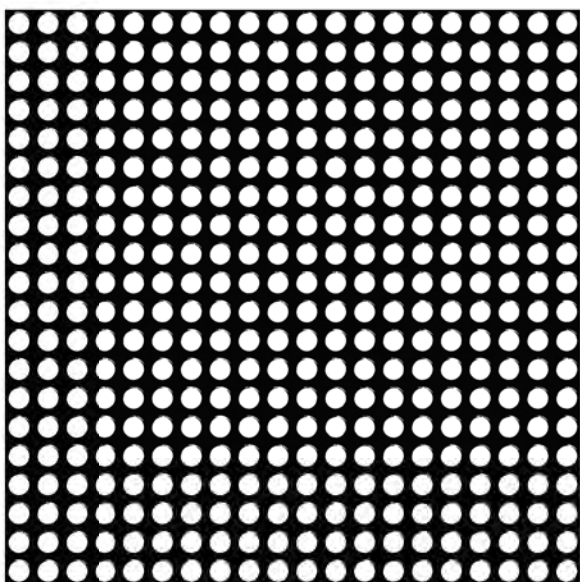
WWW.COLOREDFILMS.COM



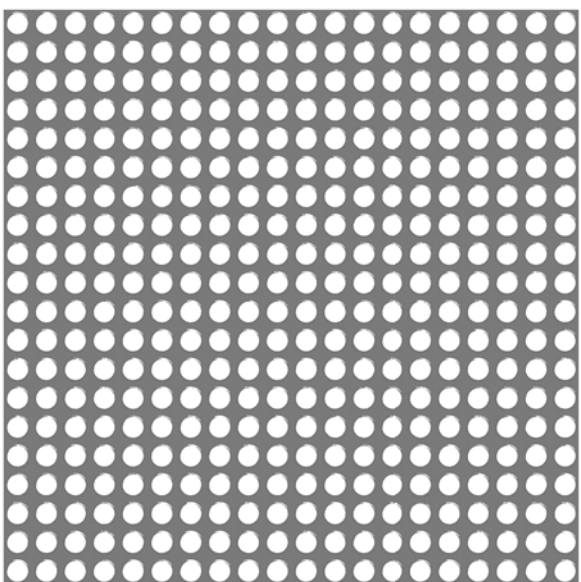
MAS 01 - MASONRY 01



SCRN 03 - PERFORATED METAL SCREEN
COLOR 03



SCRN 02 - PERFORATED METAL SCREEN
COLOR 02



SCRN 01 - PERFORATED METAL SCREEN
COLOR 01



① Color - South Elev Materials
1/16" = 1'-0"

Materials - Q St. Commons

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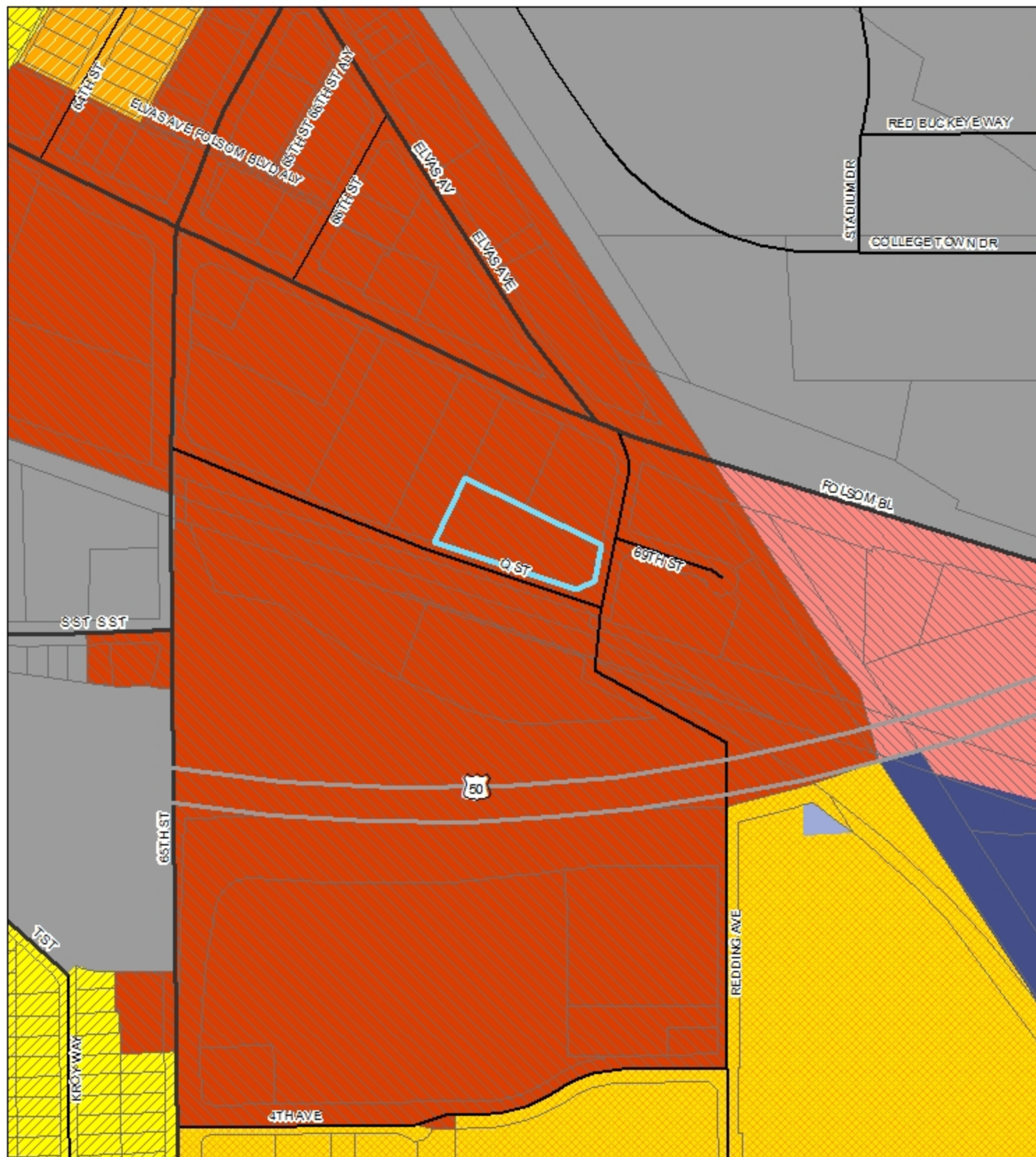
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A9.04

JOB NO. 18009

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DR18-169 **General Plan Map** **Q Street Commons**

M. Hanebutt | September 2018



0 200 400 Feet

DR18-169 **Aerial and Zoning Map** **Q Street Commons**



M. Hanebutt | September 2018